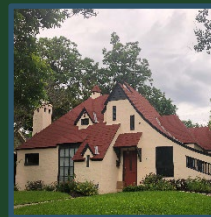
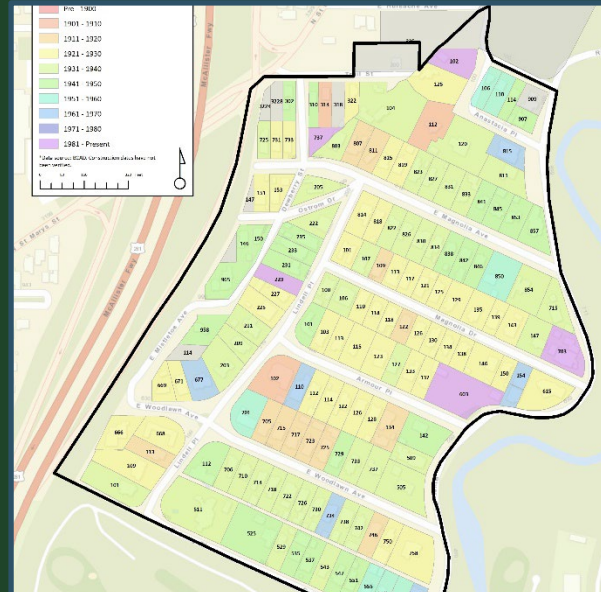


# River Road Historic District Design Manual

Draft

City of San Antonio Historic Design Guidelines

Office of Historic Preservation



March 2022

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# Section 1: Overview

## 1.1. Design Manual Purpose and Goals

### Purpose

The River Road Neighborhood Historic District Design Manual provides a guide for decision-making to preserve and protect the district’s architectural, historical, social, cultural, archaeological, and ecological features. This Design Manual serves as a consolidated resource for design requirements within the district, articulates unique and character-defining features of the district, and demonstrates best practices concerning both private and public project development. This Design Manual will be used by all relevant City of San Antonio departments, boards, commissions, and other governmental entities when reviewing proposed plans within the River Road Historic District. **The guidelines within this Design Manual are legally enforceable by reference within the City of San Antonio Unified Development Code.**

#### Legal Enforcement of Design Guidelines per the Unified Development Code

Within the City of San Antonio Unified Development Code, **Section 35-451 (a) [update with revised section for final]**, states that, within a historic district, “Applications proposing work or changes to the exterior...shall require review for appropriateness with the provisions of this article, and any adopted design guidelines.”<sup>i</sup>

#### Key Vocabulary: Guidelines versus Recommendations

**Guidelines** – Within this design manual, guidelines are considered to be legally enforceable provisions per Section 35-451(a) of the City of San Antonio Unified Development Code (as cited above).

**Recommendations** - Within this design manual, recommendations are considered to be additional helpful hints to promote compatibility with the unique historic and natural character of the River Road Historic District.

### Goals

The River Road Historic District Design Manual aims to help promote preservation and manage ongoing change within the River Road Historic District. The manual provides a clear framework to communicate appropriate and inappropriate approaches to maintenance, alterations, landscaping, construction of additions, and construction of new buildings in the district. During the development of this manual, the River Road ad Hoc Historic Design Project Committee worked collaboratively to establish the specific goals listed below. The foundation of these goals is the Committee’s commitment to seeking consensus among property owners about the guidelines that will apply in the historic district boundaries into the future.

- Goal #1: Protect and Preserve the architectural, historical, social, cultural, archaeological, and ecological resources
- Goal #2: Provide clear guidelines for River Road Historic District design review process
- Goal #3: Provide useful resources for current and future property owners
- Goal #4: Communicate the significance of the landscape
- Goal #5: Achieve the City of San Antonio's purpose for the development of district-specific guidelines unique to individual historic districts

### Guiding Principles

The River Road Historic District Design Manual aims to help promote preservation and manage ongoing change within the River Road Historic District. The Design Manual provides a clear framework to communicate appropriate and inappropriate approaches to maintenance, alterations, landscaping, and construction of additions and new buildings in the district.

- Principle #1: Understand and enhance interconnections with the San Antonio River
- Principle #2: Preserve and promote design features that encourage social and cultural connections
- Principle #3: Sustain the focus on historic assets in the district

## 1.2. Applicability

The River Road Historic District Design Manual applies to all exterior alteration, restoration, rehabilitation, and new construction in the historic district. This includes projects that impact landscape features and accessory buildings in addition to primary dwellings. Work will be reviewed for consistency with this Design Manual as part of the Certificate of Appropriateness application process (further described below).

## Coordinating with the Citywide Design Guidelines

The River Road Historic District Design Manual is intended to be the *first* point of reference for property owners and residents seeking within the River Road Historic District. For ease of reference the citywide design guidelines that are most important for the River Road Historic District are reproduced in this manual. After reviewing this manual, property owners and residents should refer to the San Antonio's Citywide Historic District Design Guidelines for additional information.<sup>ii</sup> The two documents are intended to complement one another, but this design manual provides a higher level of detail, as well as helpful background specific to the River Road Historic District. In some instances, this district-specific manual provides precise guidelines that are more concrete than the general guidance in the Citywide document. In those instances, this design manual should be considered to override the Citywide design guidelines. The City of San Antonio Office of Historic Preservation is available to assist with interpretation upon request.



**Figure 1.2.1.** Flow chart illustrating the process for using this design manual in tandem with Citywide Design Guidelines.

### Foundation for Citywide Design Manuals within the Citywide Design Guidelines

The concept of supplementing the Citywide guidelines with district-specific guidelines is founded upon the Citywide guidelines document, which states:

*With the Historic Design Guidelines in place, individual historic districts may consult with City staff to determine whether additional district-specific design tools may be necessary to supplement the citywide guidelines. City staff may assist individual districts in drafting district-specific guidelines prior to City Council action*

*to ensure that no conflicts exist between district-specific guidelines and the citywide provisions.*

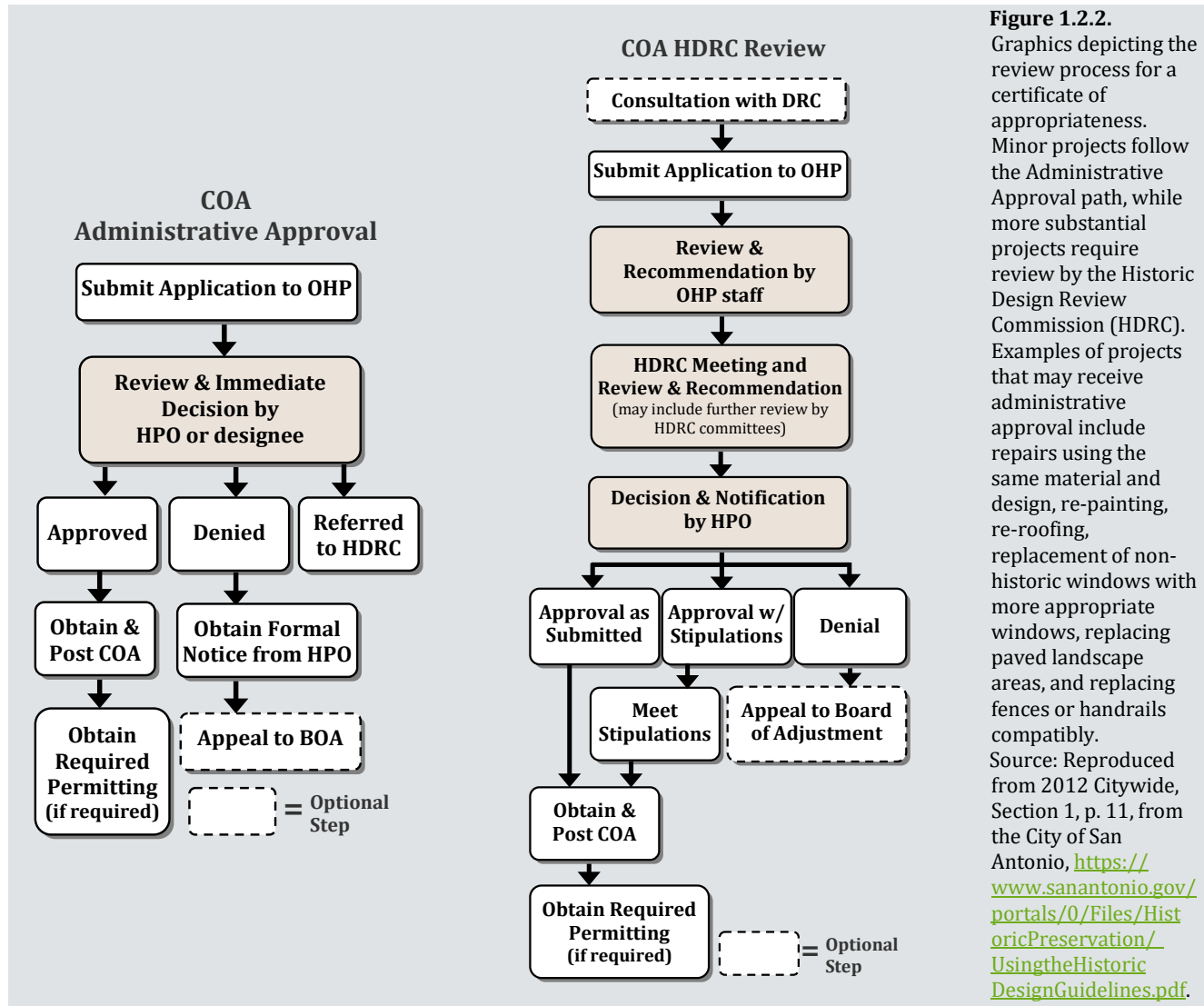
*District-specific guidelines will not conflict with the citywide guidelines; rather they will address more specific items such as color palette, construction materials, and landscaping elements.<sup>iii</sup>*

## Certificate of Appropriateness Review Process

When submitting a Certificate of Appropriateness, applicants should carefully document how the proposed work complies with both this River Road Historic District Design Manual and the citywide Historic District Design Guidelines. Specific sections, page numbers, and figure numbers from these documents should be referenced whenever applicable. When reviewing Certificate of Appropriateness applications, various City of San Antonio offices, boards, and commissions all will refer to this adopted design manual—as well as the citywide Historic District Design Guidelines—to determine appropriateness. Decisions that contradict this adopted design manual may be appealed. The process for review and approval (and appeal if needed) are described in detail in Section 1 of the citywide Historic District Design Guidelines

([sanantonio.gov/portals/0/Files/HistoricPreservation/1\\_UsingtheHistoricDesignGuidelines.pdf](http://sanantonio.gov/portals/0/Files/HistoricPreservation/1_UsingtheHistoricDesignGuidelines.pdf)) and summarized in Figure 1.2.2 below.

Also note that interior work and routine maintenance are exempted from review, as listed in Table 1.2.1.



**Table 1.2.1.** Work items exempt from the Certificate of Appropriateness application process (current as of 2022). Note that these exemptions are matters of administrative policy rather than code articles embedded in the UDC and, therefore, are subject to change.

Buildings and Structures	Landscapes
Interior alterations not visible from the exterior	Routine landscape maintenance and clean-up
Installation of electrical, plumbing, or mechanical fixtures that do not affect the exterior	Trimming plants and trees away from buildings and structures
Cleaning porch floors, roofs, and gutters using the gentlest means possible	New plantings that do not entail removing historic plantings or historic structures
Routine paint touch-ups	Routine touch-ups of fence or deck paint or stain

1  
2  
3

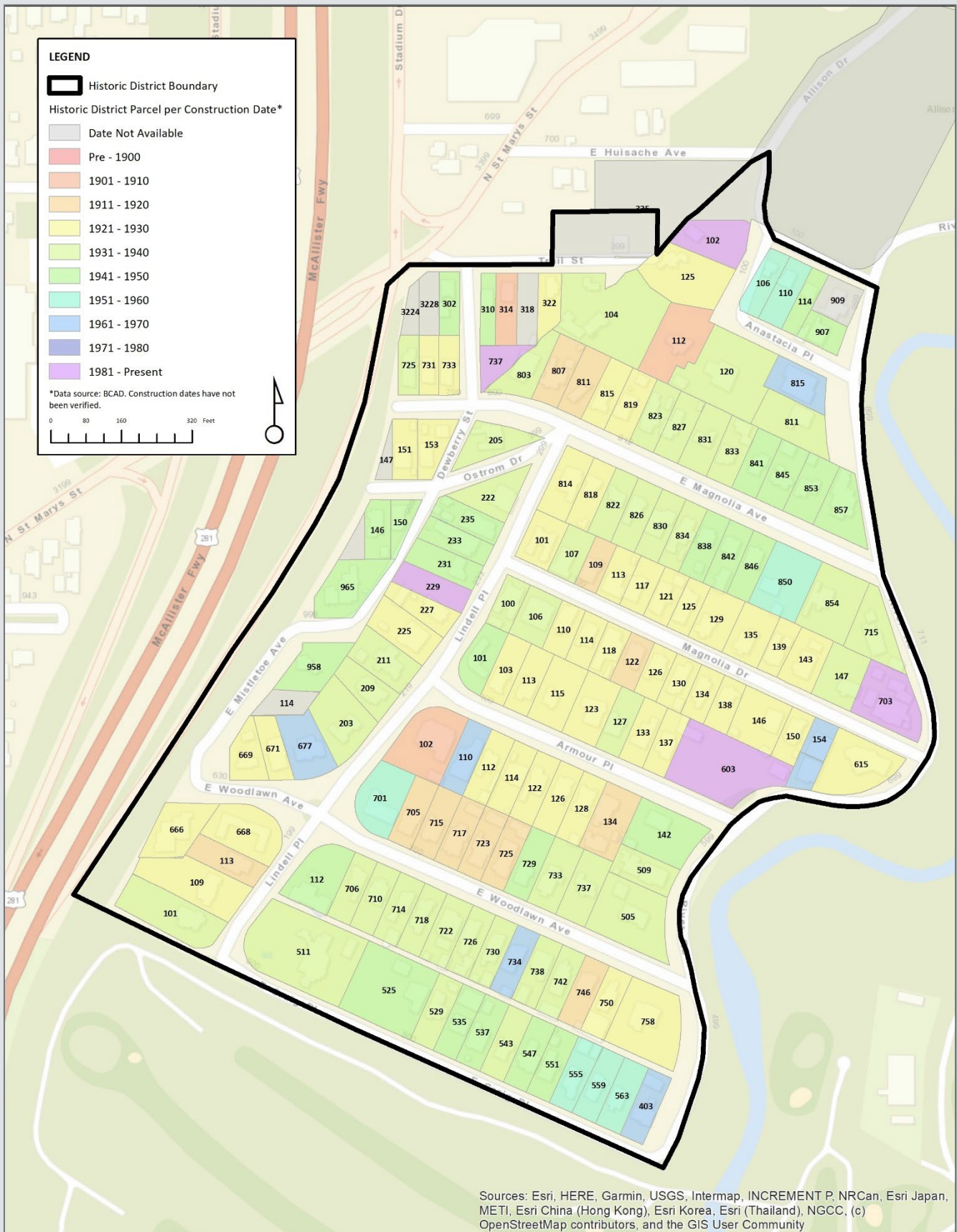
## 1.3. Background

### Summary History of the River Road Neighborhood

[Replace with version from RRNA, to be delivered mid-April]

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**Figure 1.3.1.** Map of the River Road Historic District, labelled by street address and color-coded by date of construction. Source: Base map from ESRI, overlay by HHM using City of San Antonio GIS data and Texas Historic Sites Atlas Data.

# Prior Planning Efforts Affecting River Road

## Unified Development Code

The City of San Antonio's Unified Development Code (UDC) contains the local Historic Preservation Ordinance, as well as all other codes and ordinances relating to construction and land use within the city limits. The review process for local historic districts currently is set forth in Article V.<sup>iv</sup> Another code with special relevance for the River Road Historic District is Article VI, Division 6, which sets forth additional design requirements for River Improvement Overlay ("RIO") Districts – applicable only to commercial properties and multifamily properties with more than eight units.<sup>v</sup> (Both articles are summarized in Table 1.3.1). The River Road Historic District falls within RIO District 1 (fig. 1-2). The RIO District encourages preservation within the historic district, as well as preservation of the adjacent parkland, but it also encourages higher-density development nearby, placing pressure on the viewsheds from the district and the river watershed areas. Note that the UDC is updated every five years. For the most current adopted version of the UDC, see [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=14228](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=14228).

**Table 1.3.1.** Summary of selected UDC articles applicable to preservation in the River Road Historic District (current as of 2022). For updates to the UDC, see [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=14228](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=14228). [To be updated for final per draft code revisions if necessary.]

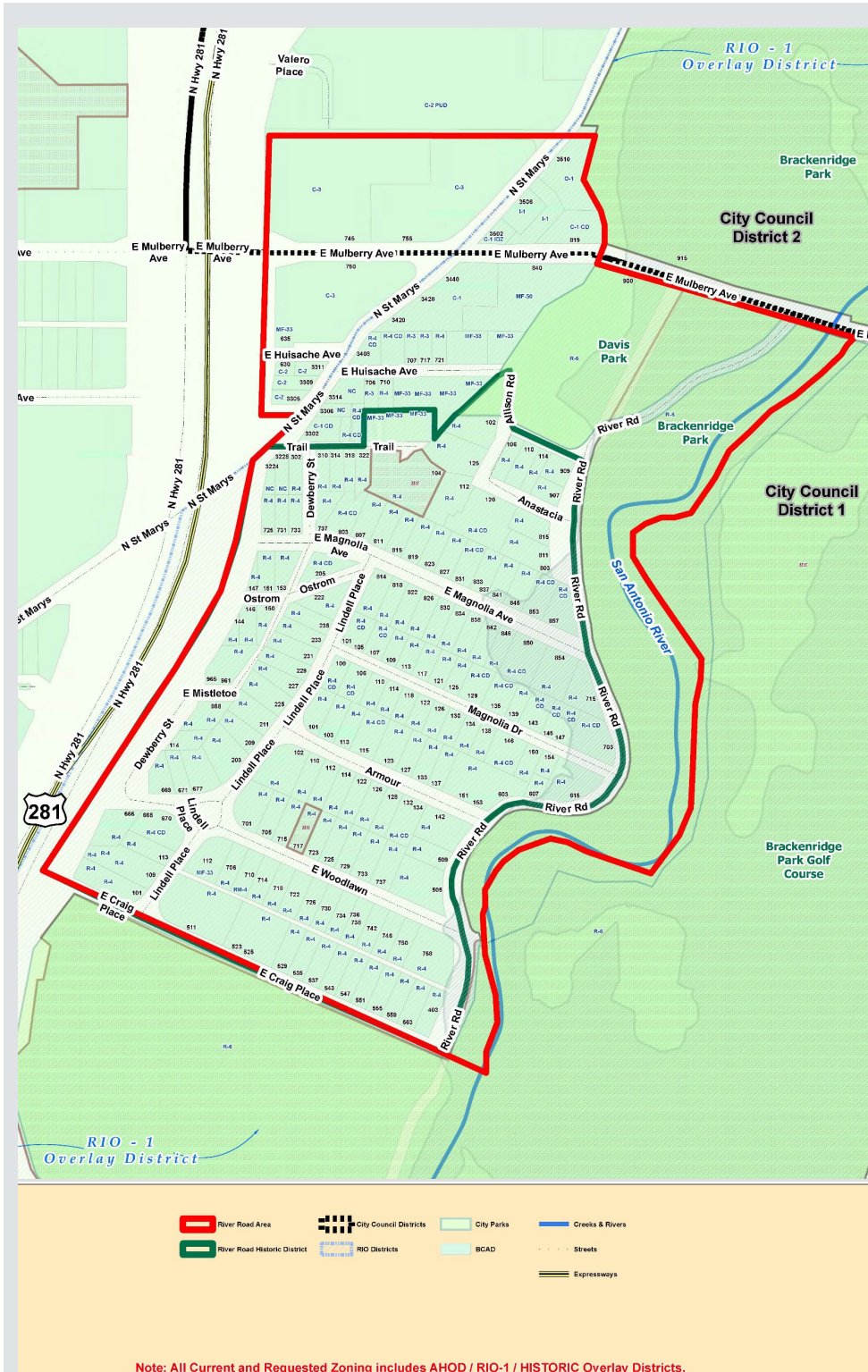
UDC Article	Key Points
<b>Article VI, Division 2 – Historic Preservation<sup>vi</sup></b>	Sec. 35-610. Alteration, Restoration, Rehabilitation, and New Construction. (a) In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure designated a historic landmark or located in a historic district, the historic and design review commission shall be guided by the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation and provisions adopted by city council as provided in this article. The historic and design review commission shall also utilize the Historic Design Guidelines as adopted by the city council, and any specific design guidelines adopted pursuant to the Unified Development Code and this article. If conflicting provisions of this chapter and city council approved guidelines have been approved, the city manager or the city manager's designee shall reconcile the conflict if possible so that effect may be given to each. If the conflict is irreconcilable, this chapter shall prevail. Applications shall be reviewed for consistency with the historic or district specific design guidelines adopted by city council. The application shall be reviewed for conformance to the general rules and principles contained in the guidelines. Applications should be approved if in general conformance with the guidelines but denial of an application by the city manager or the city manager's designee may be based on any inconsistency or nonconformance with the approved guidelines. Non-public interior spaces are exempt from this section. The only interior spaces to be considered for review, and therefore not exempt, are those publicly owned spaces that are, or were, accessible to the public (e.g., lobbies, corridors, rotundas, meeting halls, courtrooms), and those spaces, both public and privately owned, that are individually designated and are important to the public because of any significant historical, architectural, cultural or ceremonial value.
<b>Article VI, Division 6 – "Rio" Districts (for commercial properties and multifamily properties with more than eight units)<sup>vii</sup></b>	Sec. 35-670(b)(4)(A). Design Objectives for "RIO-1" River Improvement Overlay District – 1: i. Maintain the character of existing residential neighborhoods and redevelop commercial nodes. ii. Maintain two (2) separate contexts within its boundaries: 1) residential areas and 2) newly revitalized commercial nodes. iii. Allow higher density, multi-family residential and mixed-use buildings. iv. Preserve existing neighborhoods. v. Encourage mixed-use redevelopment of urban character along Broadway. vi. Allow for neighborhood-oriented business and redevelopment of the area. vii. Redevelop Broadway and Avenue B as urban corridors with consistent street edges. viii. Maintain scenic open space and the natural character of the river, particularly through Brackenridge Park. ix. Maintain scenic open space and natural character of the river, particularly through Brackenridge Park, so that it is in character with its nearby residential neighbors; residents should be able to easily access this open space while maintaining their sense of privacy.

## River Road Neighborhood Plan Update

The first River Road neighborhood plan was adopted in 1985 and updated in 1990, 1995, 2000, and 2006. The River Road Neighborhood Association and the City of San Antonio worked together and focused on reducing the land area zoned for multifamily or commercial use. The majority of the neighborhood was zoned "Low Density Residential," maintaining only a few lots zoned as "Medium Density Residential" or "Neighborhood Commercial." This neighborhood



1 plan removed the incentive to demolish smaller housing to form large-scale new construction, laying the groundwork for  
 2 historic district designation in 2010. The full text of the 2006 River Road Neighborhood Plan Update is available online at  
 3 [https://www.sanantonio.gov/Portals/0/Files/Planning/NPUD/River Road NP 2006.pdf](https://www.sanantonio.gov/Portals/0/Files/Planning/NPUD/River_Road_NP_2006.pdf).



**Figure 1.3.2.** Detail of a map of comparing the boundaries of the River Road Neighborhood Association planning area with the River Road Historic District boundaries. A more detailed map of the boundaries of the River Road Historic District is provided in Appendix B. Source: City of San Antonio, December 2021.

## San Antonio Strategic Historic Preservation Plan

In 2009, the City of San Antonio adopted a Strategic Historic Preservation Plan. This document identified the need for citywide design guidelines as a pressing priority. The full text of the Strategic Historic Preservation Plan is available online at [https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/Strategic-Historic-Plan\\_Final-8-2009.pdf](https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/Strategic-Historic-Plan_Final-8-2009.pdf).

## Citywide Historic District Design Guidelines

As noted above in Section 1.1, the City of San Antonio also maintains Citywide Historic District Design Guidelines. Consistent with the recommendations of the Strategic Historic Preservation Plan, in 2012 the City of San Antonio published a set of citywide Historic District Design Guidelines to help illustrate and clarify the requirements for “Alteration, Restoration, Rehabilitation, and New Construction” in historic districts set forth in **Article VI, Division 2, Sec. 35-610 [update for final]**. (See Table 1.3.1 above). Given their broad, citywide scope, these guidelines are general. The citywide guidelines recommend that each district create district-specific guidelines, stating, “District-specific guidelines [will] address issues or elements that are unique within individual historic districts.”<sup>viii</sup> This design manual is more specific than the citywide guidelines and should be considered primary, overriding source of regulations within the River Road Historic District (consistent with Figure 1.2.1 above). The full text of the 2012 guidelines is available online at <https://www.sanantonio.gov/historic/HDRC/HistoricDistrictGuidelines>.

## Overlapping Historic Designations within the River Road Historic District

Note that one property within the River Road Historic District—the Zambrano House at 104 Anastacia Place—is also designated as a Registered Texas Historic Landmark (RTHL).<sup>ix</sup> The RTHL program is administered by the Texas Historical Commission and entails preservation standards that may be stricter than those in this design manual. Any alterations to the Zambrano House must meet all RTHL standards, as well as the guidelines within this design manual and all of the other planning documents listed above. Information about the special requirements for RTHLs is available from the Texas Historical Commission at <https://www.thc.texas.gov/preserve/projects-and-programs/recorded-texas-historic-landmarks>. If any other buildings within the River Road Historic District are designated as RTHLs in the future, alterations to the buildings also will need to comply with these requirements.



# Endnotes

<sup>i</sup> San Antonio, Texas – Unified Development Code, Sec. 35-451, from Municode, accessed February 15, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTIVPR\\_DIV5HIDERE\\_S35-451CEAP](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTIVPR_DIV5HIDERE_S35-451CEAP). [Code section and link to be updated for final.]

<sup>ii</sup> Clarion Associates and Hardy·Heck·Moore, Inc. (HHM), *Citywide Historic District Guidelines*, prepared for the City of San Antonio, 2012, from the City of San Antonio, <https://www.sanantonio.gov/historic/HDRC/HistoricDistrictGuidelines>.

<sup>iii</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 1, page 5, [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/1\\_UsingtheHistoricDesignGuidelines.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/1_UsingtheHistoricDesignGuidelines.pdf).

<sup>iv</sup> City of San Antonio Unified Development Code, Chapter 2, Article V, accessed September 30, 2021, [https://library.municode.com/tx/san\\_antonio/codes/code\\_of\\_ordinances?nodeId=PTIICO\\_CH2AD\\_ARTVHIDERECH2](https://library.municode.com/tx/san_antonio/codes/code_of_ordinances?nodeId=PTIICO_CH2AD_ARTVHIDERECH2). [Code section and link to be updated for final.]

<sup>v</sup> City of San Antonio Unified Development Code, Article VI, Division 6 – “Rio” Districts, accessed September 30, 2021, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVIHIPRURDE\\_DIV6RIDI](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVIHIPRURDE_DIV6RIDI). [Code section and link to be updated for final.]

<sup>vi</sup> City of San Antonio Unified Development Code, Article VI, Division 2 – Historic Preservation, accessed September 30, 2021, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVIHIPRURDE\\_DIV2HIPR](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVIHIPRURDE_DIV2HIPR). [Code section and link to be updated for final.]

<sup>vii</sup> City of San Antonio Unified Development Code, Article VI, Division 6 – “Rio” Districts, accessed September 30, 2021, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVIHIPRURDE\\_DIV6RIDI](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVIHIPRURDE_DIV6RIDI).

<sup>viii</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, page 1, [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/2\\_ExteriorMaintenanceandAlterations.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/2_ExteriorMaintenanceandAlterations.pdf).

<sup>ix</sup> “Zambrano House [RTHL,” designated 1966, Texas Historic Sites Atlas, from the Texas Historical Commission, <https://atlas.thc.state.tx.us/Details/5029005938>.

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# Section 2: Historic Character

## 2. 1. Architectural Styles

The section below describes each architectural style found within the River Road Historic District, building upon the Architectural Character section within the City of San Antonio's citywide design manual (excerpted below), customized to discuss the architecture and landscape features that characterize the River Road Historic District. Each style listed below has unique "character-defining features," which all need to be maintained in order to preserve the overall historic character and integrity of the house. Figure 2.1.1 depicts the process for identifying the character-defining features for each specific historic resource within the River Road Historic District.

For a glossary of architectural terms used in this section, see Appendix A.

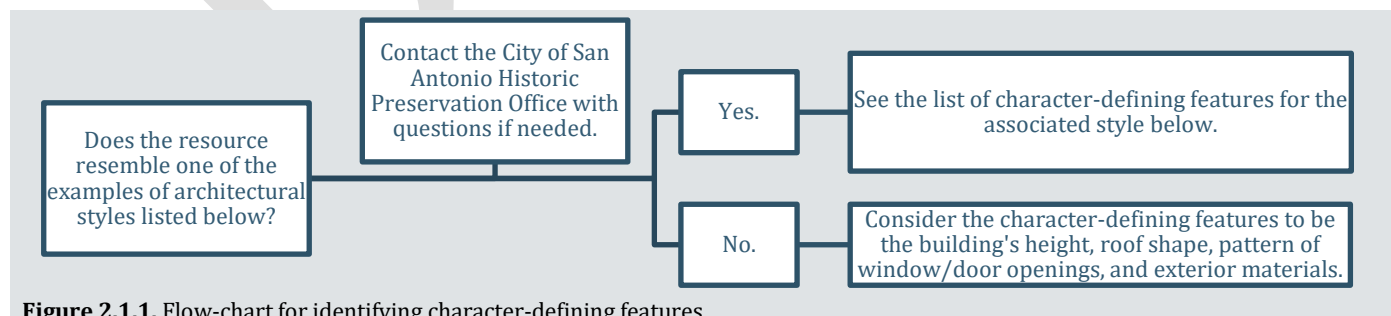
### Architectural Styles Excerpt from the San Antonio Citywide Historic District Design Manual

Architectural styles are useful categories for analyzing general types of historic resources. The analysis within this section sets forth typical character-defining features of architectural styles. Note that many examples of historic resources do not strictly fit any architectural style classification. Some are purely utilitarian and reflect no style at all. Others eclectically combine several styles. Similarly, a typical example of an architectural style may exhibit some of the character-defining features defined in the following pages, but not all. This analysis of architectural styles seeks to find commonalities among general trends, though the buildings within a historic district inevitably will include exceptions.

Architectural styles may be applied to any number of different building forms. For instance, architectural details influenced by the Classical Revival style may be applied to a single-family house, a multi-story commercial building, a warehouse, or even a gas station. Architectural styles sometimes may be related to a building's use, but not necessarily. Instead, they tend to be related to the building's era of construction and popular regional trends. Architectural styles can be integral to the form and materials of the building or can be displayed through decorative ornament applied to a building.

Some typical character-defining features of each architectural style are listed in the section below. A building does not need to display all of the listed character-defining features to be considered a good example of a style; however, when these character-defining features are intact, they must be preserved in order to retain the overall character of the architectural style. Buildings also may exhibit different stylistic elements due to changes over time. If these changes occurred during the historic district's period of significance, such changes should be respected and possibly retained during restoration or rehabilitation projects.

Standard classifications for architectural styles are set forth by the National Park Service in Bulletin No. 16a, *How to Complete the National Register Registration Form*, and are derived from seminal texts in American Architectural History such as *American Architecture Since 1780: A Guide to Architectural Styles* by Marcus Whiffen; *Identifying American Architecture* by John J. G. Blumenson; *What Style Is It?* by John Poppeliers, S. Allen Chambers, and Nancy B. Schwartz; and *A Field Guide to American Houses* by Virginia and Lee McAlester.<sup>i</sup>



**Figure 2.1.1.** Flow-chart for identifying character-defining features.

# Spanish Colonial

Eighteenth Century to Early Nineteenth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: One-story.
- Form: Linear footprint, sometimes with several linear wings grouped around an interior courtyard. Since examples typically pre-date the street grid and subdivision, they are often set on larger lots than typical and are oriented at angles inconsistent with adjacent properties. Utilitarian outbuildings often present.
- Exterior Walls: Stucco over masonry (often adobe, brick, or stone).
- Foundations: Typically skirted with brick or stone.
- Porches: Often not original, but sometimes added later during the historic period.
- Roofs: Low-pitched or flat, sometimes altered during the historic period to have a higher-pitch roof; often with exposed rafter-ends.
- Windows: Small window openings; windows may be casement or double-hung, typically with wood sashes
- Doors: Wood, sometimes with decorative carving.
- Chimneys: If chimneys are original, usually located on the gable ends, projecting further out than the exterior wall plane.



**Figure 2.1.2.** Example of the Spanish Colonial style house (Zambrano House) in the River Road Historic District.<sup>ii</sup>

Character-defining features found on this selected example include:

1. One-story
2. Linear footprint
3. Set on a large lot, oriented at an angle to the street
4. Stucco exterior walls
5. Partial-width front porches likely added in the nineteenth and twentieth centuries
6. Original flat roof form and exposed rafter ends evident, with side-gabled roof likely added in the nineteenth century
7. Small window openings
8. Multiple exterior doors

Source: Photo by HHM, 2021.



# National Folk

Late Nineteenth Century to Early Twentieth Century

## Typical Character-Defining Features

- Property types: Residential.
- Height: One or one-and-a-half stories.
- Form: L-plan, modified L-plan, and/or square-plan.
- Exterior Walls: Use of milled lumber, often horizontal wood clapboard siding but sometimes vertical weatherboard.
- Foundations: Pier-and-beam with wood or pressed-metal skirting.
- Porches: Partial-width or full-width porches; usually with simple, square wood porch posts and railings.
- Roofs: Hipped, pyramidal, or gable-on-hipped roof forms; simple wood soffits, fascia boards, and bargeboards.
- Windows: Tall and somewhat narrow window openings; typically double-hung wood-sash windows, sometimes with wood shutters.
- Doors: Wood front doors, often with glazing, sometimes with transom and sidelight windows.
- Chimneys: Simple brick chimneys or stovepipes, often projecting from the center of the roof ridge.



**Figure 2.1.3.** Example of a National Folk style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One-story height
2. Square building footprint
3. Exterior walls with milled horizontal wood clapboard siding
4. Full-width porch with square support posts
5. Pyramidal roof form
6. Tall window openings with double-hung wood-sash windows
7. Central brick chimney

Source: Photo by HHM, 2021.

# French Eclectic

Late Nineteenth Century to Early Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: Ranging from one story to two-and-a-half stories.
- Form: Irregular form with asymmetrical projections and modulations (like turrets).
- Exterior Walls: Brick or stone masonry, sometimes finished with stucco. Ornamental stone windows, sills, and door and window surrounds may be present.
- Foundations: Typically pier-and-beam, skirted with brick or stone.
- Porches: If present, typically partial-width with masonry supports; sometimes absent, with a patio or portico instead.
- Roofs: Hipped or mansard roof forms with a steep pitch. Originally, often clad with slate. Dormer windows and turrets common.
- Windows: Varied sizes and shapes of window openings. Windows may be casement or double-hung, with wood or metal sashes. May feature decorative transoms, leaded glass, or stained glass.
- Doors: Typically wood, sometimes with glazing, transoms, and/or sidelights.
- Chimneys: Brick or stucco, often especially tall with decorative corbelled brickwork or caps.



**Figure 2.1.4.** Example of a French Eclectic style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Irregular building form with turret
2. Stucco wall finish
3. Front patio and portico rather than porch
4. Hipped roof with steep pitch and turret
5. Varied window sizes
6. Tall chimney visible at right-hand gable
7. Curved walkway

Source: Photo by HHM, 2021.



# Colonial Revival

Early to Mid-Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential
- Height: Ranging from one to two-and-a-half stories.
- Form: Rectangular, symmetrical.
- Exterior walls: Typically brick, but may be wood siding.
- Foundations: Typically pier-and-beam skirted with brick or stucco.
- Porches: Often include partial-width or full-width porches, with front-gabled or flat roof supported by wood or stone columns. May include a front-gabled or arched portico over the main entrance, supported by brackets or columns.
- Roofs: Typically side-gabled or gambrel. Wood cornice and enclosed eaves, often painted white. Slate shingles sometimes present. Dormer windows common on residential examples.
- Windows: Typically double-hung wood sash, painted white, often paired. Often flanked by wood shutters.
- Doors: Typically wood, sometimes topped with fanlights. Commonly include sidelights, transoms, and/or ornate door surrounds with detailing inspired by the American Colonial Era.
- Chimneys: Typically brick, located at the gable end(s).



**Figure 2.1.5.** Example of a Colonial Revival style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Rectangular footprint
2. Entrance portico with pediment, supported by slender columns
3. Side-gabled roof form with dormer
4. Double-hung wood windows, paired front door with side lights and transom with fanlights

Source: Photo by HHM, 2021.

# Tudor Revival

Early to Mid-Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: Ranging from one to two-and-a-half stories.
- Form: Asymmetrical, often with an L-plan or modified L-plan.
- Exterior Walls: Usually brick masonry in varying colors, patterns, and textures. Sometimes wood, stone, or stucco. Faux half-timbering often adorning gable-ends. Wing walls or buttresses sometimes accenting front façade.
- Foundations: Pier-and-beam, usually skirted with brick.
- Porches: If present, partial-width, sometimes including low-sloped segmental arches or Gothic arches supported by brick piers.
- Roofs: Gable-on-hip or cross-gabled. Often complex. Eaves sometimes swept. Bargeboards concealing rafter ends.
- Windows: Usually double-hung wood sash, often paired. Window openings sometimes feature low-sloped Gothic arches. Sometimes featuring picture windows with leaded glass in a lattice pattern.
- Doors: Wood doors, sometimes with small lites, often arched.
- Chimneys: Prominent brick chimneys, often on front façade. Sometimes featuring chimney caps with corbelling or crenellations.



**Figure 2.1.6.** Example of a Tudor Revival style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Asymmetrical footprint
2. Brick exterior walls with contrasting colors and textures
3. Pier-and-beam foundation skirted with brick
4. Partial-width porch with arched openings supported by brick piers
5. Cross-gabled roof form with steep pitch and bargeboards
6. Arched window openings with paired double-hung wood-sash windows
7. Arched main entry with heavy wood front door

Source: Photo by HHM, 2021.



# Mission Revival

Early to Mid-Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: One-story or two-story.
- Form: Rectangular footprint, sometimes with projecting central front entrance.
- Exterior Walls: Usually finished with stucco, either smooth or textured. May feature terra-cotta or cast concrete ornamentation, typically at door and window surrounds and belt/string courses. May include wing walls at façade edge.
- Foundations: May be pier-and-beam skirted with stucco or slab-on-grade.
- Porches: If present, partial-width porch supported by columns or pilasters with decorative capitals. May have second story balcony. Porch may also be an arcade at ground level, often with a loggia.
- Roofs: Low-pitched clay tile or flat, typically with a Mission-shaped dormer or roof parapet with terra-cotta or cast concrete coping.
- Windows: May feature Roman or segmental arch openings. Wood casement or double-hung wood sash windows, often paired. Decorative iron trim often present.
- Doors: Heavy wood doors, sometimes with small lites or decorative carving. May feature Roman or segmental openings. Decorative stone, terra-cotta, or iron trim often present.
- Chimneys: Clay tile hoods.



**Figure 2.1.7.** Example of a Mission Revival style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One-story height
2. Rectangular footprint with projecting front entrance
3. Exterior walls with textured stucco
4. Portico rather than porch
5. Flat roof
6. Paired double-hung wood-sash windows with arched surrounds
7. Arched heavy wood door with small lite

Source: Photo by HHM, 2021.

# Spanish Eclectic

Early to Mid-Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: Ranging from one story to two-and-a-half stories.
- Form: Rectangular main core, often with projecting wings; may be symmetrical or asymmetrical.
- Exterior walls: Stucco, sometimes with texture or molded decorative wall elements. Tile detailing common.
- Foundations: Typically skirted with masonry finished with stucco.
- Porches: Sometimes lack porches, or sometimes use partial-width porches with arched openings, often supported by masonry piers. Often feature heavy hardware, such as handrails and light fixtures. Second story balconies or roof decks sometimes present.
- Roofs: Typically flat or low-sloped hipped, often covered with clay tile.
- Windows: Double-hung or casement windows, with metal or wood sash. Sometimes featuring wrought iron grates or balconies.
- Doors: Typically heavy wood, sometimes with small lites. Often feature heavy hardware. Stone door surrounds common.
- Chimneys: Stucco, often with tile cap.



**Figure 2.1.8.** Example of a Spanish Eclectic style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Rectangular main footprint with projecting wings
2. Stucco exterior walls
3. Low-pitched clay tile roof
4. Wood casement windows
5. Stucco chimney with tile cap

Source: Photo by HHM, 2021.



# Monterey Style

Early to Mid-Twentieth Century

## Typical Character-Defining Features

- Property Type: Residential.
- Height: Two stories.
- Form: Rectangular or L-plan.
- Exterior Walls: May be wood siding, asbestos shingle, brick, stone, or stucco.
- Foundation: Typically skirted with wood or brick. Skirt walls sometimes battered.
- Porches: Full-width or partial-width cantilevered balconies, often featuring exposed rafter ends, sometimes with carved detailing, and/or decorative wrought iron.
- Roofs: Low-sloped hipped or gabled, with deep eaves, often with exposed rafter ends.
- Windows: May be double-hung wood sash, wood casement, or metal casement, sometimes with wood screens. Shutters often present.
- Doors: Typically wood with glazing, sometimes with transoms and sidelights.
- Chimneys: Brick, stone, or stucco, sometimes with corbelling or stone coping.



**Figure 2.1.9.** Example of a Monterey style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Two-stories in height
2. Rectangular footprint
3. Low-pitched side-gabled roof
4. Partial-width cantilevered balcony that also covers porch below
5. Exposed rafter ends at balcony
6. Wood windows
7. Brick chimney visible toward the rear, left of center

Source: Photo by HHM, 2021.

# Craftsman

## Early Twentieth Century

### Typical Character-Defining Features

- Property Types: Residential.
- Height: One or one-and-a-half stories.
- Form: “Bungalow,” usually with an L-plan or rectangular footprint.
- Exterior Walls: Typically wood siding, sometimes brick. Sometimes featuring wood shingle detailing.
- Foundations: Typically pier-and-beam skirted with wood, stucco, or brick. Skirt walls sometimes battered.
- Porches: Porches are a character-defining feature. Partial-width or full-width, often with front-gabled roof, often supported by tapered wood, brick, or stone columns.
- Roofs: Low-sloped hipped or gabled (front-gabled, side-gabled, or cross-gabled), with deep eaves, often with exposed rafter ends.
- Windows: Typically double-hung wood sash, often paired, and often with wood screens with geometric detail.
- Doors: Typically wood with glazing, sometimes with transoms and sidelights.
- Chimneys: Brick, sometimes with corbelling or stone coping.



**Figure 2.1.10.** Example of a Craftsman style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One-story original portion
2. “Bungalow” form with L-shaped footprint created by projecting porch
3. Wood exterior siding
4. Pier-and-beam foundation with stucco skirting
5. Partial-width front porch with front-gabled roof
6. Low-pitched cross-gabled roof with wide eaves and exposed rafter tails
7. Paired double-hung wood windows with decorative screens
8. Wood door with geometric grid of glazing

Source: Photo by HHM, 2021.

# Minimal Traditional

## Mid-Twentieth Century

### Typical Character-Defining Features

- Property Types: Residential.
- Height: One story.
- Form: L-plan or rectangular.
- Exterior Walls: Wood siding or asbestos shingle. Decorative wood shingles or board-and-batten siding sometimes present at gable ends. Brick or stone veneer sometimes present at water table.
- Foundations: Pier-and-beam with wood skirt, or concrete slab-on-grade.
- Porches: Typically partial-width, supported by simple wood posts, geometric wood posts, or metal posts, sometimes adorned with decorative wrought iron. Porch floor typically concrete.
- Roofs: Cross-gabled or gable-on-hip, sometimes with shingles or contrasting siding at the gable end.
- Windows: Casement or double-hung, wood or metal sash. Fixed picture windows sometimes present at front façade. Decorative wood shutters common.
- Doors: Wood, often with small lites in geometric patterns or fan lights.
- Chimneys: If present, simple brick or stone.



**Figure 2.1.11.** Example of a Minimal Traditional style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One story original portion
2. L-shaped footprint
3. Exterior walls with horizontal wood siding
4. Slab-on-grade foundation with concrete porch floor
5. Partial-width porch supported by decorative wrought iron posts
6. Cross-gabled roof with contrasting vertical siding at gable ends
7. Double-hung wood windows with larger picture window at front façade
8. Decorative wood shutters
9. Wood door with small lite and geometric paneling

Source: Photo by HHM, 2021.



# Ranch

## Mid-Twentieth Century

### Typical Character-Defining Features

- Property Types: Residential.
- Height: One story typically, sometimes one-and-a-half or two stories if split-level on a slope with a walk-out basement.
- Form: Rectangular or L-plan, typically wider than it is deep.
- Exterior Walls: Often brick or stone masonry, often using Roman brick or flagstone; sometimes wood siding or asbestos shingle siding.
- Foundations: Typically concrete slab, but sometimes pier-and-beam.
- Porches: If present, typically recessed under main roof form and supported by simple wood posts or metal posts, sometimes adorned with decorative wrought iron. Floor typically concrete. Integral stone or brick planters often are evident. Details may exhibit influences of the Colonial Revival or Tudor Revival Styles.
- Roofs: Low-sloped hipped, side-gabled, or cross-gabled, with deep eaves. Clerestory windows sometimes present at gable ends or below eaves. Details may exhibit influences of the Colonial Revival or Tudor Revival Styles.
- Windows: Double-hung, casement, awning or jalousie, with wood or metal sash. Picture windows often present at front façade.
- Doors: Wood, often with small lites in geometric patterns. Metal or wood screen doors.
- Chimneys: If present, broad and simple brick or stone.



**Figure 2.1.12.** Example of a Ranch style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One-story
2. Wide L-shaped footprint
3. Brick exterior walls
4. Slab-on-grade foundation
5. Recessed porch
6. Low roof pitch with broad eaves
7. Metal windows
8. Broad chimney

Source: Photo by HHM, 2021.

# Mid-Century Modern

Mid- to Late Twentieth Century

## Typical Character-Defining Features

- Property Types: Residential.
- Height: Typically one-story, sometimes two-story if split-level or on slope with walk-out basement.
- Form: Rectangular or L-plan, often with integrated carports.
- Exterior Walls: Concrete, stucco, or brick with no applied ornament.
- Foundation: Concrete slab-on-grade.
- Porches: Flat-roof or low-sloped porches, often recessed under the main roof form, but sometimes using cantilevered roofs or roofs supported by narrow metal columns.
- Roofs: Flat, A-frame, or low-pitched roof forms.
- Windows: Metal windows, typically casement, sliding, jalousie, or fixed.
- Doors: Typically wood or metal, often with glazing.
- Chimneys: If present, typically brick or stone with a horizontal emphasis.



**Figure 2.1.13.** Example of a Mid-Century Modern style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. One-story
2. L-plan footprint with integrated carport
3. Brick exterior walls
4. Slab-on-grade foundation
5. Porch recessed under main roof
6. Flat roof

Source: Photo by HHM, 2021.

# 1960s and 1970s Contemporary

## Mid- to Late Twentieth Century

### Typical Character-Defining Features

- Property Types: Residential.
- Height: One or two stories.
- Form: Varied, ranging from rectangular to irregular and organic, often with integrated carports.
- Exterior Walls: Concrete, stucco, wood, Roman brick, flagstone, glass, or tile. No applied ornament. Often curving or angular. Structural elements often exposed.
- Foundation: Concrete slab. Ground floor may be elevated on a plinth.
- Porches: If present, cantilevered flat awnings, or recessed under flat roof.
- Roofs: Flat, A-frame, angular, vaulted, or irregular.
- Windows: Double-hung, casement, or fixed, with metal or wood sash. Fixed window walls are common.
- Doors: Typically wood or metal, often with glazing.
- Chimneys: If present, typically brick or stone.



**Figure 2.1.14.** Example of a 1960s and 1970s Contemporary style house in the River Road Historic District.

Character-defining features found on this selected example include:

1. Rectangular form with integrated carport
2. Slab-on-grade foundation
3. Flat roof
4. Window wall

Source: Photo by from Google Street View, 2021.



## 2.2. Natural and Manmade Landscape

The section below describes the landscape features—both natural and manmade—that characterize the River Road Historic District. Preserving the character-defining features of the landscape helps to protect the overall historic character of the district.

### San Antonio River, River Structures, and Features

#### Natural Riverbed and Tributaries

##### Pre-historic to Present Day

#### Typical Character-Defining Features

- **Location:** Immediately to the east of the River Road Historic District lies the last section of the San Antonio River within the city limits remaining in its natural state. Traveling from headwaters at a cluster of springs north of Brackenridge Park in a south/southeasterly direction until joining with the Guadalupe River near the Texas Gulf Coast;<sup>iii</sup> the river flows just east of the boundaries of the River Road Historic District, and many small tributaries travel through the district to drain into the river.
- **Heights/widths:** The terrain of the River Road Historic District slopes downward toward the river so that the western boundary of the district is roughly 689 feet above sea level, the eastern boundary is roughly 656 feet above sea level, and the river's water level is roughly 649 feet above sea level – a decline of around 40 feet over approximately 0.22 miles. The river's width varies with the water level but typically is about 60 feet wide today.
- **Form/plan:** Organic, curvilinear.
- **Materials:** Water and riverbed of primarily Houston black clay loam soil, which expands and contracts based on water content but erodes only moderately, creating a river alignment that fluctuates somewhat but remains relatively constant over time.<sup>iv</sup>



**Figure 2.2.1.** Example of a natural riverbed in the River Road Historic District. Source: Photo courtesy of the San Antonio River Authority.

## Acequias

### Around 1776 to Present Day

#### Learn about Acequias

For further definitions of acequias and their key parts—canals, desagues, swales, and dams—refer to the glossary in Appendix A. For additional information about the history and character-defining features of the acequia system in the River Road Historic District, refer to *Excavation for the Upper Labor Dam Site, Brackenridge Park, San Antonio, Bexar County, Texas* by Wayne Cox, Edgar D. Johnson, and C. Britt Bousman.<sup>v</sup>

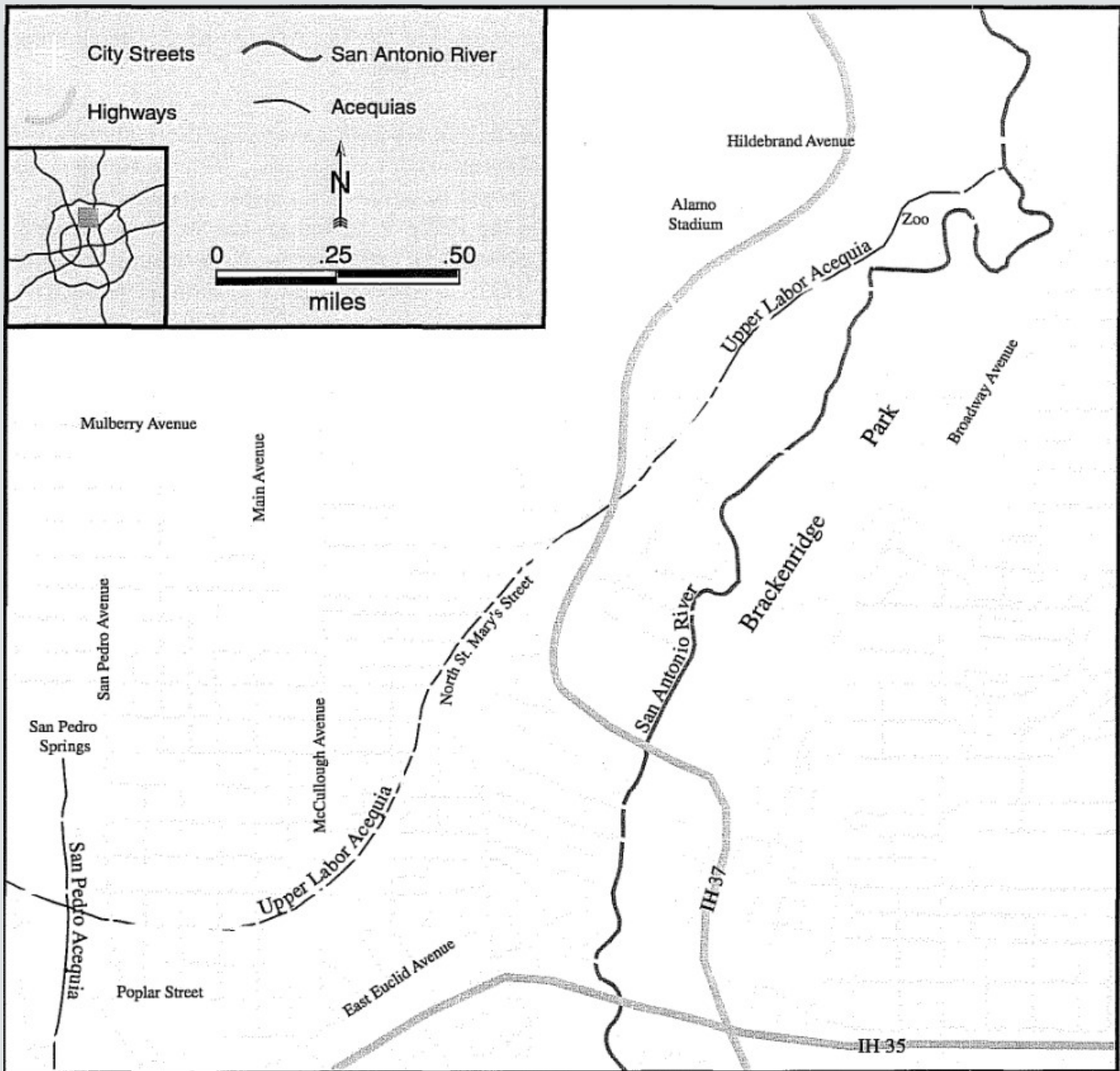
#### Typical Character-Defining Features

- **Locations:** Multiple acequia systems are present throughout San Antonio, connecting the San Antonio river and tributaries to areas of historic settlement needing irrigation (fig. 2.2.3). The acequia system that travels through the River Road Historic District is known as the “Upper Labor Acequia.” Acequia features are present above ground in the northern section and eastern sections of the River Road Historic District, with portions traveling beneath streets via culverts. (See the description of culverts below on page 2-18).
- **Heights/widths:** The canals in River Road sink about 2 feet below the adjacent landscape and measure about 8 feet in width; swales sink about 3 feet below the adjacent ground plane and measure about 20 feet in width.
- **Form/plan:** Rectilinear, curvilinear.
- **Materials:** Canals are typically made of brick and mortar, while swales are earthen, desagues are concrete or terra-cotta, and dams are brick or stone (sometimes with mortar, and sometimes constructed of dry masonry).



**Figure 2.2.2.** Section of a canal comprising part of the acequia in the River Road Historic District. Source: Photo by HHM, 2021.





**Figure 2.2.3.** Map of the Upper Labor Acequia, which travels through the River Road Historic District (no date). Source: Cox, Johnson, and Bousman, *Excavation for the Upper Labor Dam Site, Brackenridge Park, San Antonio, Bexar County, Texas*.

## Low-Water Crossing

### Early Twentieth Century

#### Typical Character-Defining Features

- Location: Connecting roads and trails between Woodlawn Avenue at River Road (west of the San Antonio River) and Avenue A (east of the San Antonio River); maintains the connectivity between the Historic District and the urban green space (Brackenridge Park).
- Heights/widths: approximately 130 feet in width; height above the river level varies dependent upon rainfall.<sup>vi</sup>
- Form/plan: Rectilinear.
- Materials: Cast concrete.



**Figure 2.2.4.** Example of a low water crossing in the River Road Historic District. Source: Photo by HHM, 2021.

## Culverts

### Early Twentieth Century to Present Day

#### Typical Character-Defining Features

- Location: Typically at the intersection of streets and drainage ditches on the eastern and northern district boundaries.
- Heights/widths: Roughly four feet below the street level in height; steeply sloped away from the street. Between 20 and 30 feet in width, depending on the width of the street above.
- Form/plan: Cylindrical piping arranged in a linear or curvilinear pattern, depending on the roadway alignment above.
- Materials: Cast concrete.



**Figure 2.2.5.** Example of an earthen swale leading to a concrete culvert that allows two desagues (drainpipes) to allow water to flow beneath the roadway. Source: Photo by HHM, 2021.

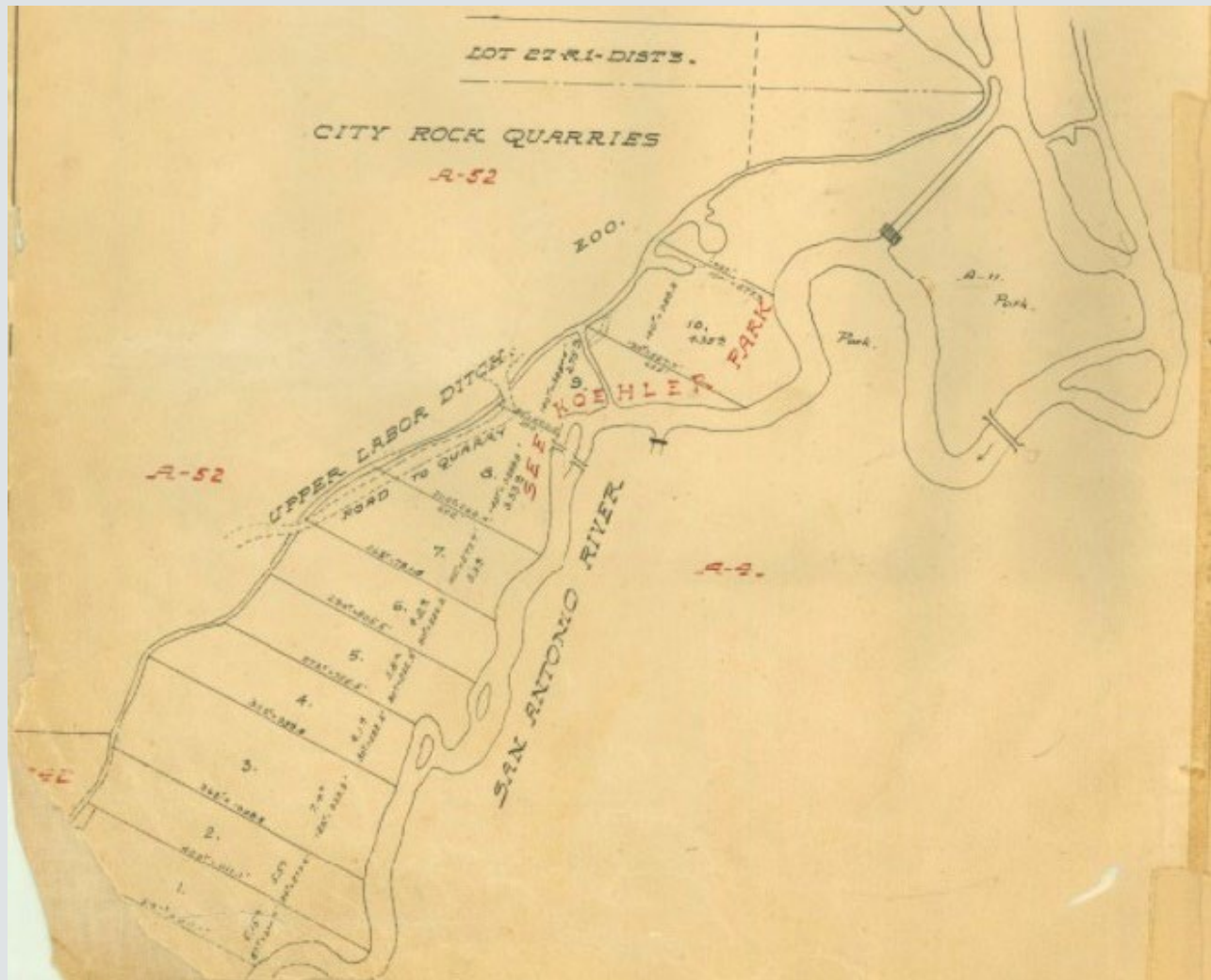
# Street and Lot Layout Features

Around 1720 through the Mid-Twentieth Century

## Remnants of Spanish Colonial Land Divisions

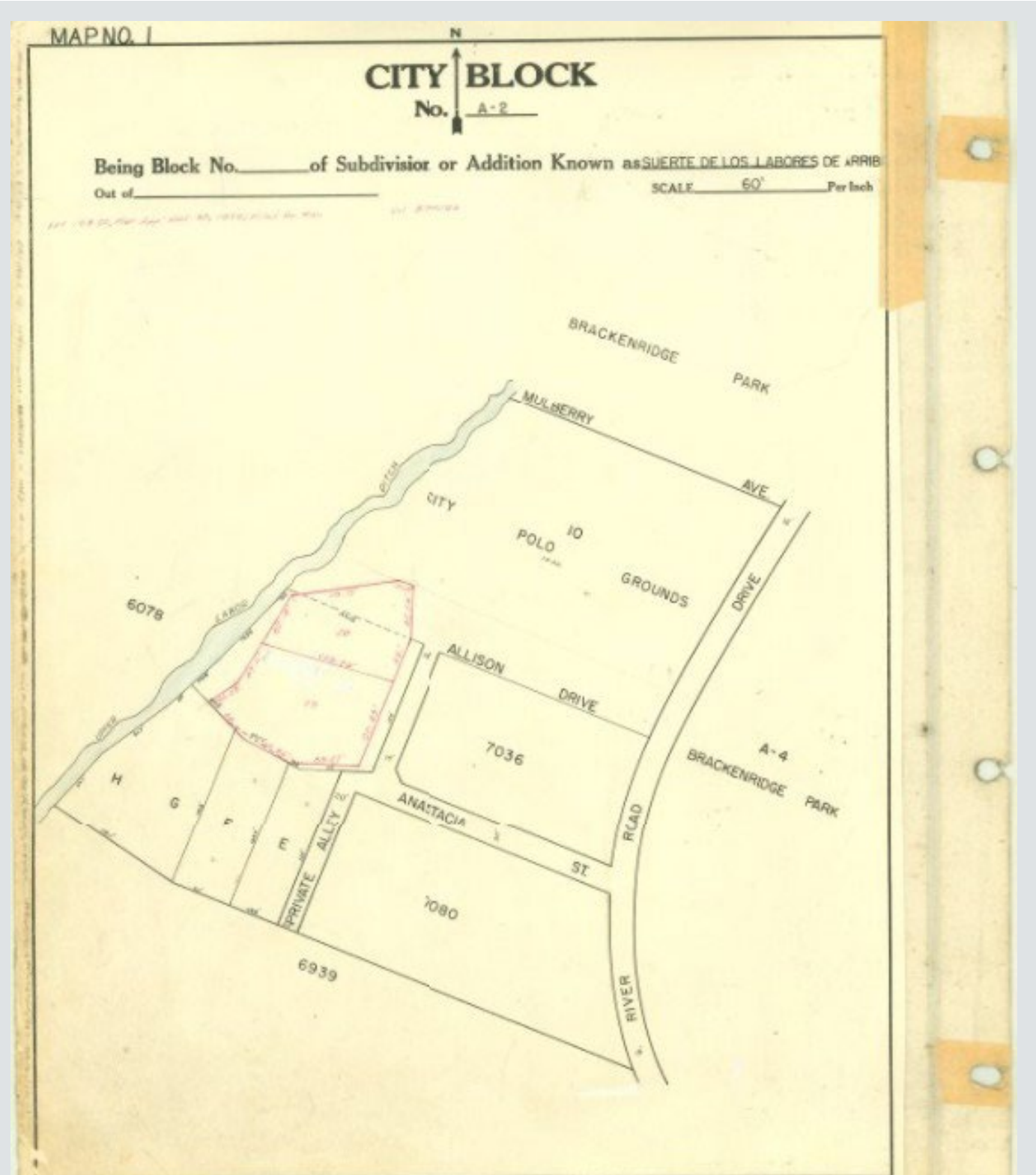
### Typical Character-Defining Features

- Location: Along Allison Drive and E. Magnolia Avenue, both of which follow the boundaries of Spanish colonial divisions of land fronting the San Antonio River (figs. 2.2.6 and 2.2.7), as well as the east-west streets aligned parallel with the historic land-division boundaries (including Anastacia Place, Magnolia Drive, Armour Place, E. Woodlawn Avenue, and E. Craig Place).
- Heights/widths: At street-grade level; width not applicable.
- Form/plan: Linear.
- Materials: Currently demarked by asphalt streets.



**Figure 2.2.6.** This map shows lots 1 through 10 of the “Suerte de Los Abores de Arriba” subdivision; lots 6 through 9 fall in the boundaries of the present-day River Road Historic District (exact date unknown, likely between 1895 and 1954). Source: *New City Block Red Tax Maps A-1 through A-69-Page 1 of 88* [map], from the City of San Antonio Municipal Archives, accessed September 29, 2021, <https://webapp9.sanantonio.gov/ArchiveSearch/Viewer2.aspx?Id={701E3C54-56A5-492E-84A0-3F6CD472F6E1}&DocTitle=New%20City%20Block%20Red%20Tax%20Maps%20A-1%20through%20A-69&PageNo=1&TotalPages=88&MimeType=image/jpeg&RelatedDocs=>.



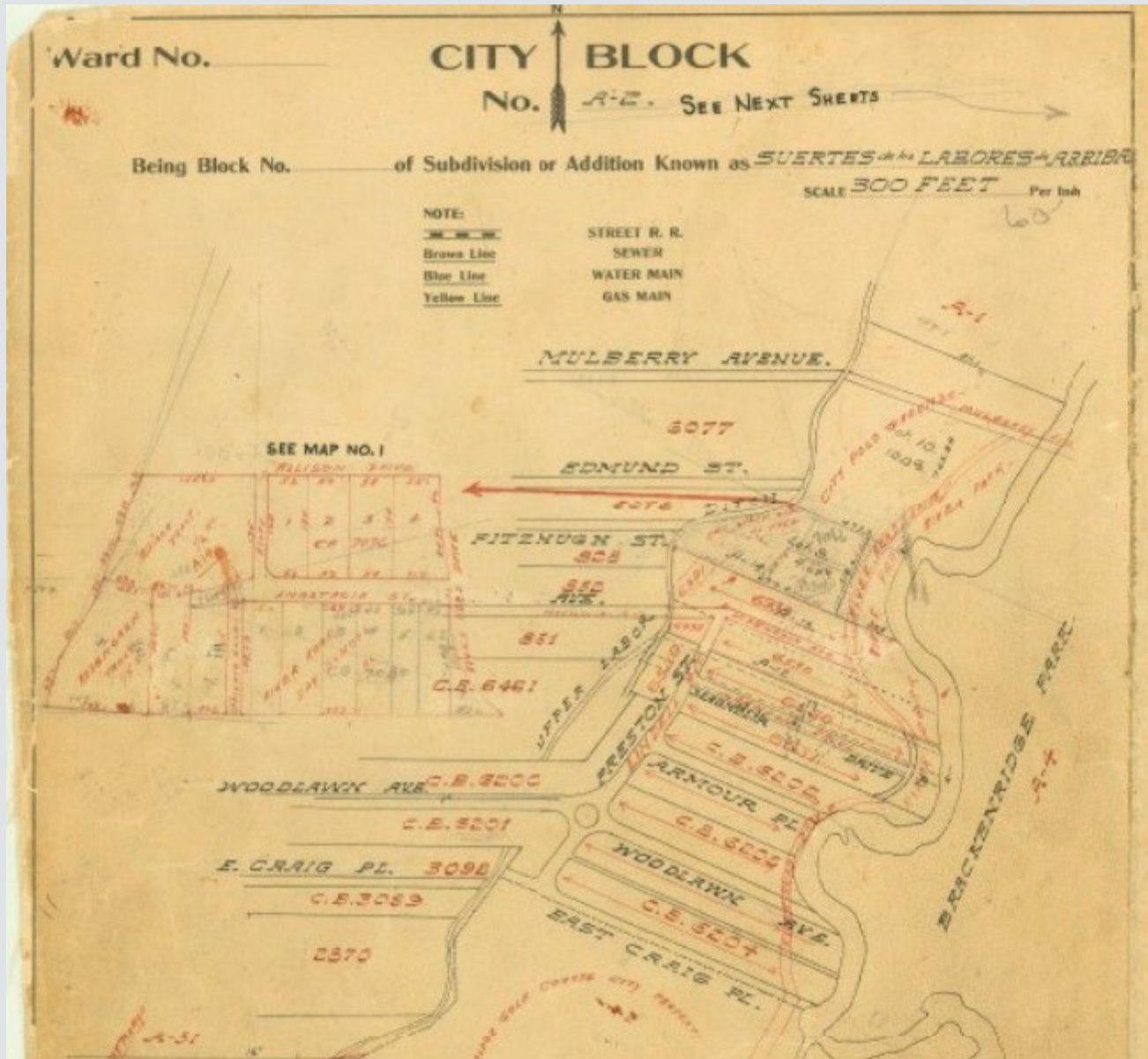


**Figure 2.2.7.** Tax map showing the further subdivision of Lot 9 of Suerte de Los Abores de Arriba, including the alignment of Allison Drive and Anastacia Streets, as well as the Zambrano House property (1979). Source: *New City Block Red Tax Maps A-1 through A-69-Page 3 of 88* [map], May 30, 1979, from the City of San Antonio Municipal Archives, accessed September 29, 2021, <https://webapp9.sanantonio.gov/ArchiveSearch/Viewer2.aspx?Id={DFE14ED4-928F-472C-BF40-294CD6DCFAFE}&DocTitle=New%20City%20Block%20Red%20Tax%20Maps%20A-1%20through%20A-69&PageNo=3&TotalPages=88&MimeType=image/jpeg&RelatedDocs=>.



## Curvilinear Adaptations of the Street Grid to Topography

- Location: Areas where the original grid pattern was altered to curve along the topography – such as the area along River Road and E. Magnolia Avenue (fig. 2.2.8).
- Heights/widths: Streets generally at-grade with the surrounding ground plane, ranging from 20 to 25 feet in width.
- Form/plan: Curvilinear.
- Materials: Asphalt with concrete curbs.



**Figure 2.2.8.** Map with redlines showing the additions of River Road and the angled portion of E. Magnolia Avenue to the original grid layout of the neighborhood (exact date unknown, likely between 1895 and 1954). Source: *New City Block Red Tax Maps A-1 through A-69-Page 2 of 88* [map], date unknown, from the City of San Antonio Municipal Archives, accessed September 29, 2021, <https://webapp9.sanantonio.gov/ArchiveSearch/Viewer2.aspx?Id={BBE6700F-0874-49F5-9924-4B12D5AA9FD5}&DocTitle=New%20City%20Block%20Red%20Tax%20Maps%20A-1%20through%20A-69&PageNo=2&TotalPages=88&MimeType=image/jpeg&RelatedDocs=>.

## US Highway 281 (McAllister Freeway) Boundary and Buffer

### Typical Character-Defining Features

- Location: Along the western River Road Historic District boundary; east of the US Highway 281 off-ramp. A barrier that distances the highway from the neighborhood.
- Heights/widths: Gradually sloping down from US Highway 281 at a gradient of about 3 feet down per 200 feet across. Trees approximately 20 to 25 feet tall. Greenspace between district boundary and highway roughly between 45 and 60 feet wide.
- Form/plan: Organic, curving.
- Materials: Grass, various tree species, steel chain-link fencing.



**BEFORE (1963)**



**AFTER (1973)**

**Figure 2.2.9.** Aerial photographs from 1963 (above) and 1973 (below) showing the impact of the construction of US Highway 281 on the River Road Historic District. Over 100 houses of neighborhood stock were removed to accommodate construction of US 281. Note the connectivity between River Road and the neighborhood to the west in 1963, versus the impenetrable western barrier created by US 281 by 1973. Source: United States Geographic Survey (USGS), aerial photos, 1963 [Entity ID AR1VAP000020039] and 1973 [Entity ID AR1VDDC00020050], from the USGS Earth Explorer, <https://earthexplorer.usgs.gov/>.



# Landscape Structures and Objects

Late Nineteenth Century to Late Twentieth Century

## Fences and Landscape Walls

Learn about Fences and Landscape Walls

For definitions of fences and landscape walls, refer to the glossary in Appendix A.

### Typical Character-Defining Features

- Location: Side and back yards, and occasionally front yards, bordering the perimeter of the property. Historically, the majority of front yards were open, without front-yard fences. Typically, there is little setback from the property line.
- Heights/widths: Typically between three feet tall (front yard) and a maximum of six feet tall (back and side yard).<sup>vii</sup> Typically between two inches and one foot wide.
- Form/plan: Linear or curvilinear.
- Materials: Wood, brick, limestone, metal. Masonry more common around Mission Revival style homes; metal chain-link fences more common around Minimal Traditional or Ranch style homes.



**Figure 2.2.10.** Example of a historic-age stone wall at the rear of a property in the River Road Historic District. Source: Photo by HHM, 2021.



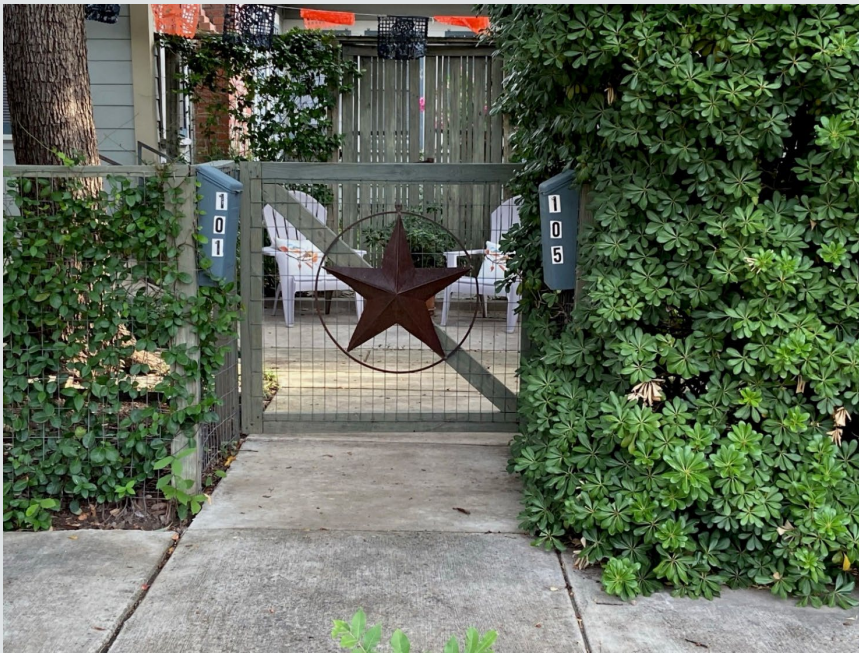
**Figure 2.2.11.** Example of a historic-age chain-link fence surrounding the front and back-yards of a property in the River Road Historic District. Where present historically, historic front-yard fences like this one should be preserved and maintained, but new front-yard fences should not be installed where not present historically. Note that historic-age chain-link fences should be preserved, but chain-link should not be used for new fences. Source: Photo by HHM, 2021.





**Figure 2.2.12.** Example of a landscape wall within the River Road Historic District that was constructed later than the original house but follows the patterns set by earlier examples compatibly. Source: Photo by RRNA, 2021.

1



**Figure 2.2.13.** Example of a new fence within the historic district that follows historic patterns compatibly. Source: Photo by RRNA, 2021.

2



## Retaining Walls

### Typical Character-Defining Features

- Location: Along or near the periphery of the property line on the front or side yard lawn, where there is a difference in grade between the lawn and the adjacent street or sidewalk.
- Heights/widths: Typically a maximum of two feet in height and one foot in width.
- Form/plan: Linear or rectilinear.
- Materials: Cast concrete, stone.



**Figure 2.2.14.** Example of a retaining wall in the River Road Historic District. Source: Photo by HHM, 2021.

## Driveways

### Typical Character-Defining Features

- Location: Aligned with either side of the house on the property, in a way that parked vehicles do not obstruct the view of the primary façade from the public right of way.
- Heights/widths: Graded on a lower level than the main house, but a higher level than the street. Historically roughly between 7 and 10 feet wide.
- Form/plan: Linear, curvilinear.
- Materials: Pebbles, lawn grass, sand, concrete.



**Figure 2.2.15.** Example of a concrete ribbon driveway in the River Road Historic District. Source: Photo by HHM, 2021.



## Curbs

### Typical Character-Defining Features

- Location: Street-side of neighborhood green stripes. On most neighborhood streets, curbs mark the boundary of both sides of the street. Park roads (River Road, Allison, Anastasia, and Huisache) do not have curbs.
- Heights/widths: Usually four inches tall measured from the street and one foot wide.
- Form/plan: Linear, curvilinear in form; round-edged in profile in some locations and square-edged in others.
- Materials: Concrete.



**Figure 2.2.16.** Example of a curb on E. Magnolia Avenue transitioning to the uncurbed border of River Road in the River Road Historic District. Source: Photo by RRNA, 2021.



**Figure 2.2.17.** Detail of a historic curb profile in the River Road Historic District. Source: Photo by RRNA, 2021.



## Bollards

### Typical Character-Defining Features

- Location: Cedar bollards define the shoulder of the road along River Road from Mulberry to the low-water crossing.
- Heights/ widths: Varied, between one and two feet in height and about six inches in diameter.
- Form/ plan: Roughly cylindrical.
- Materials: Wood (cedar).



**Figure 2.2.18.** Example of bollards on the east side of River Road, between the road and the river. Also note the lack of curbing. Source: Photo by RRNA, 2021.



## Sidewalks and Walkways

### Typical Character-Defining Features

- Location: Front lawns – with sidewalks typically paralleling the street (often separated from the street by a planting strip), while walkways lead from the sidewalk to the front door; walkways sometimes also leading through side yards (between houses).
- Heights/widths: Sidewalks usually leveled with the adjacent curb; walkways level with lawn, sometimes with steps if the lawn is higher than the street.
- Form/plan: Linear or curvilinear.
- Materials: Historically primarily concrete or gravel.

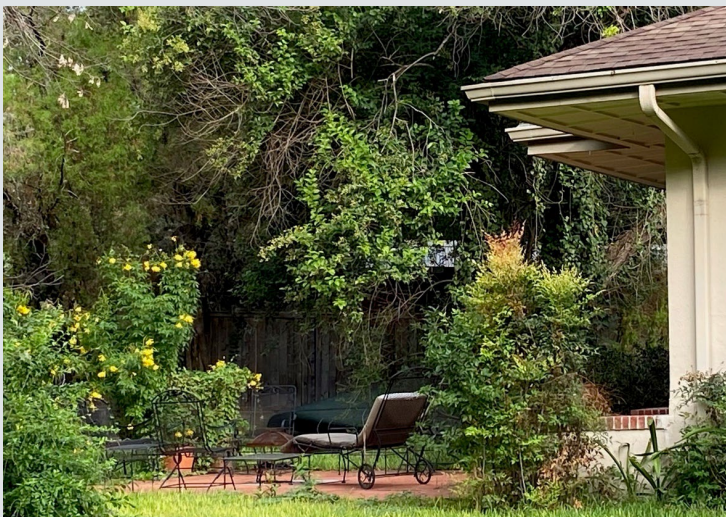


**Figure 2.2.19.** Example of a sidewalk and walkway in the River Road Historic District, with steps to navigate the change in grade between the street and the lawn. Source: Photo by HHM, 2021.

## Front and Side Patios

### Typical Character-Defining Features

- Location: In front of houses, near the front door, or to the side of houses, accessed via a side door.
- Heights/widths: Usually slightly raised from the lawn and walkway, historically measuring up to 20 feet wide by about 10 feet deep.
- Form/plan: Rectilinear.
- Materials: Concrete (grade-on-slab), brick, stone.



**Figure 2.2.20.** Example of a brick side patio in the River Road Historic District. Source: Photo by RRNA, 2021.

## Mailboxes

### Typical Character-Defining Features

- Location: Typically near the front door or on the front gate if the property is fenced. Freestanding mailboxes adjacent to the street were not historically characteristic in the district.
- Heights/widths: Usually no taller than 12 inches and no wider than 18 inches.
- Form/plan: Cubical, rectangular.
- Materials: Wood or metal, typically painted a dark shade.



**Figure 2.2.21.** Example of a typical wall-mounted mailbox adjacent to a front door in the River Road Historic District. (Also see examples of fence-mounted mailboxes in Figures 2.2.12 and 2.2.13 above.) Source: Photo by RRNA, 2021.



# Vegetation

## Pre-historic to Present Day

### Plant Material

#### Typical Character-Defining Features

- Location: Front lawn, side yards, rear yards, roundabout, riverbed, public right of ways.
- Height/width: Trees typically trimmed so that the canopy rises over the roofline of one-story houses. Front yard plantings typically trimmed in height and width so that at least half of the front façade of the adjacent house is visible from the street.
- Form: Organic.
- Common tree species: Oak, Pecan, Magnolia, Ashe Juniper, Huisache, Mesquite, Arizona Ash, Hackberry, Texas Persimmon, Texas Redbud, Texas Mountain Laurel, Condalia, Possum Haw, Hawthorne.
- Common plant species: agave, prickly pear and other cactus, xeriscape plantings, bamboo, plumbago, firecracker, salvia, pride of Barbados, esperanza and other drought-tolerant species.



**Figure 2.2.22.** Example of drought-tolerant vegetation in the River Road Historic District. Although the plantings are not historic, the overall landscape plan follows historic patterns of hardscape versus vegetation. Source: Photo by RRNA, 2021.



## Tree Canopy

### Typical Character-Defining Features

- Location: Front lawn, side yard, community lands, overarching streets.
- Heights/widths: Height increasing over time; generally tall enough that the crown of each tree is above the height of the roof line of nearby houses. Width also varying over time, growing from about 25 percent coverage of the air space in aerial photos from 1955 to about 50 percent in 1986 and about 75 percent between 2004 and 2010, then decreasing to about 50 percent again between 2012 and 2020.<sup>viii</sup>
- Form: Organic.
- Materials: Trees of various species (refer to Plant Material heading above).



**Figure 2.2.23.** Example of the tree canopy in the River Road Historic District. Source: Photo by RRNA, 2021.



**Figure 2.2.24.** Example of the tree canopy in the River Road Historic District. Source: Photo by RRNA, 2021.



## Lawns

### Typical Character-Defining Features

- Location: Front lawn, green stripes.
- Heights/widths: One to one-and-a-half inches tall, mowed, and maintained; varying widths.
- Form/plan: Organic geometric shapes, defined boundary, angled corners.
- Materials: Grass, rocks, soil.
- Grass species: St. Augustine grass (primary grass during historic period), Zoysia grass, Buffalograss.



**Figure 2.2.25.** Example of a lawn in the River Road Historic District, following landscaping patterns prevalent historically in River Road, with decorative plantings clustered in beds near the house and grass stretching from the beds to the curb. Source: Photo by HHM, 2021.

## Gardens

### Typical Character-Defining Features

- Location: Front, rear, or side yards of public lots; shared areas in public open spaces.
- Heights/widths: Varied.
- Form/plan: Rectilinear, square, organic.
- Plant species: Various shrubs, flowers, trees, and other plants (refer to Plant Material heading above).



**Figure 2.2.26.** Example of the community garden in the River Road Historic District. Source: Photo by RRNA, 2021.

## Endnotes

<sup>i</sup> Clarion Associates and Hardy-Heck-Moore, Inc. [currently HHM & Associates, Inc.], “A Guide to Antonio’s Historic Resources [Chapter 7],” *City of San Antonio Historic Design Guidelines*, prepared for the City of San Antonio Office of Historic Preservation, 2012, <https://www.sanantonio.gov/historic/HDRC/HistoricDistrictGuidelines>.

<sup>ii</sup> “Zambrano House (Atlas Number 5029005938) [Registered Texas Historic Landmark],” Texas Historic Sites Atlas, Texas Historical Commission, accessed Sept. 21, 2021, <https://atlas.thc.texas.gov/Details/5029005938>.

<sup>iii</sup> “Rivers,” Texas Almanac, accessed September 29, 2021, <https://texasalmanac.com/topics/environment/rivers>; “San Antonio Springs and Brackenridge Park,” The Edwards Aquifer Website, accessed September 29, 2021, <https://www.edwardsaquifer.net/saspring.html>.

<sup>iv</sup> US Bureau of Soils, *Soil map, Texas, San Antonio sheet* [map] (Washington D.C., n.p., 1904), from The Portal to Texas History crediting UNT Libraries Government Documents Department, accessed September 29, 2021, <https://texashistory.unt.edu/ark:/67531/metapht19677/m1/1/>.

<sup>v</sup> Wayne Cox, Edgar D. Johnson, and C. Britt Bousman, *Excavation for the Upper Labor Dam Site, Brackenridge Park, San Antonio, Bexar County, Texas* [Report #268] (San Antonio: Center for Archaeological Research, The University of Texas At San Antonio). This report is available online from the University of Texas at San Antonio’s Center for Archeological Studies (<http://car.utsa.edu/CARResearch/Publications/ASRFiles/201-300/ASR%20No.%20268.pdf>) or in hard copy from the San Antonio Public Library’s Texana Collection, located on the sixth floor of the Central Library at 600 Soledad Street downtown (catalog link <https://mysapl.bibliocommons.com/v2/record/S172C164942>).

<sup>vi</sup> Aerial imagery from Google Earth dated 01/11/2019 shows the water level of the river approximately three feet below the low-water crossing. Note that the river level today varies less than it did historically, given upstream flood control measures and diversion for irrigation.

<sup>vii</sup> City of San Antonio, Unified development Code Section 35-514, “Fences.” [Update for final.]

<sup>viii</sup> [Aerial photographs, 1955-2016], Historic Aerials by NetOnline, accessed September 29, 2021, <https://historicaerials.com/viewer>; Google Earth, accessed September 29, 2021, <https://earth.google.com/web/@29.45292425,-98.48069581203.78666375a,1199.72232835d,35y,-0h,0t,0r>.



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# Section 3: Design Development Recommendations

## 3.1. Guiding Principles

The tips listed below aim to provide a smooth process for design development within the River Road Historic District. Familiarizing yourself with these recommendations at the outset or project planning—prior to beginning design development—can enhance understanding of the many factors that underlie this Design Manual. Design development can be complicated, but there are many helpful resources that can simplify the process. Investing time in reviewing the tips below can significantly streamline the design development process in the long run.

## 3.2. Recommendations

### 3.2.1. Learn about the benefits of historic preservation.

Across the globe, decades of studies have demonstrated proven benefits of preservation – including economic development, promotion of cultural understanding, community cohesion, and environmental sustainability. The resources below all provide background information about preservation’s benefits:

- Shanon Shea Miller [City of San Antonio Historic Preservation Officer], “Why Preserve?” in Clarion and HHM, *Citywide Historic District Guidelines*, Section 1, p. 1, [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/1\\_UsingtheHistoricDesignGuidelines.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/1_UsingtheHistoricDesignGuidelines.pdf).
- “Economic Impact of Historic Preservation in Texas” prepared by the University of Texas and Rutgers University, 2015, from the Texas Historical Commission, <https://www.thc.texas.gov/news-events/economic-impact-historic-preservation-texas>.
- Power of Preservation Foundation, <https://powerofpreservation.org/>.
- City of San Antonio Office of Historic Preservation, “Preservation as Sustainability,” in *Sustainability Guide for Older Structures* [DRAFT], January 2020, from the City of San Antonio, [www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide\\_Sustainability.pdf](http://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide_Sustainability.pdf).

### 3.2.2. Communicate early and frequently.

The River Road Neighborhood Association actively monitors and reviews building permit applications within the River Road Historic District. Talking with your neighbors about a planned project early can help ensure that they provide valuable support throughout the permitting process. Find contact information for the River Road Neighborhood Association at <https://www.riverroadna.org/>.

The City of San Antonio has jurisdiction over the review and approval of Certificate of Appropriateness applications and building permits. Both the City of San Antonio Development Services Office and the Office of Historic Preservation offer preliminary consultation. Scheduling consultation meetings early in design development can be especially helpful. Seeking consultation about the proposed site layout for an addition or new construction can be especially helpful. Consider first asking for a preliminary review of the site plan from the Development Services Office, then following up with a preliminary review from the Office of Historic Preservation. Seek consultation again around both the 30 percent design development phase and the 60 percent design development phase. Early and frequent communication will help minimize the risk of devoting time to development of a design that runs counter to this Design Manual and/or other City regulations.

### 3.2.3. Find out about regulations that overlap with this Design Manual.

This design manual is only one layer of the many regulations governing development within the River Road Historic

District. Section 1 of this design manual presents a number of additional documents that set forth overlapping regulations – such as the Unified Development Code (UDC), the River Road Neighborhood Plan, the San Antonio Strategic Historic Preservation Plan, the San Antonio Citywide Historic District Design Guidelines, and overlapping historic designations (like the Registered Texas Historic Landmark Designation for the Zambrano House). Reading each of these documents prior to initiating a design project can help ensure compliance and streamline the review and permitting processes.

### **3.2.4. Understand the relationship between the River Road Historic District and the San Antonio River watershed.**

The location of the River Road Historic District adjacent to the only remaining natural section of the San Antonio River forges an important connection between the buildings and the watershed. Protecting the watershed and the river’s natural ecology is essential for protecting the district’s character-defining landscape elements (as described in Section 2). Understanding the concept of “Low Impact Development” can help guide design of new construction to minimize impacts on the river and its watershed. The US Environmental Protection Agency (EPA) provides a number of resources that explain the principles of Low Impact Development at <https://www.epa.gov/nps/urban-runoff-low-impact-development>.

In addition, the City of San Antonio offers preliminary review of Storm Water Plans for new construction.<sup>i</sup> Seeking a Storm Water Plan review early during design development is highly recommended.

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<sup>i</sup> “Storm Water Plan Review,” City of San Antonio, accessed November 8, 2021, <https://www.sanantonio.gov/PublicWorks/Services/Storm-Water-Plan-Review>.



# Section 4: Exterior Alterations

## 4.1. Applying this Design Manual

### Guiding Principles

The San Antonio citywide Historic District Design Guidelines provide the foundation for evaluating maintenance and alterations in all San Antonio Historic Districts – including the River Road Historic District. These are provided in Section 2, available online at [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/2\\_ExteriorMaintenanceandAlterations.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/2_ExteriorMaintenanceandAlterations.pdf). The citywide guidelines for Exterior Maintenance and Alterations do provide some openings for customization by individual historic districts like River Road. Customization must maintain consistency with the citywide Historic District Design Guidelines, as well as the nationwide best practices established by the National Park Service and set forth in the *Secretary of the Interior's Standards for Historic Preservation* (provided in Appendix D.2.1).

#### Key Vocabulary: Deterioration beyond Repair

One core concept of the Secretary's Standards is that historic building materials should be preserved in place unless deteriorated beyond repair. The citywide Historic District Design Guidelines present the term “deteriorated beyond repair” – a key term repeated throughout this design manual. An individual building component considered “deteriorated beyond repair” if more than 50 percent of the component is decayed to the point where it cannot serve its structural purpose(s), as determined by the City of San Antonio Office of Historic Preservation (OHP). Examples of elements deteriorated beyond repair include, but are not limited to:

- An individual wood window muntin decayed so that it cannot hold a pane of glass as intended; decay is documented by probing the core with an awl and lifting up irregular pieces of wood.
- An individual wood weatherboard decayed to the point where it cannot hold paint to keep the building watertight; decay is documented by probing the core with an awl and lifting up irregular pieces of wood.
- An individual porch column decayed so that it can no longer support the porch roof; decay is documented by a sag in the porch roof even when the porch foundation is shown to be level.
- A metal decorative railing corroded so that it threatens to expand and crack the adjacent surface; corrosion is documented by a bubbling texture and/or probing the metal with a sharp object and digging out brittle strands.

### Applicability

#### Guidelines versus Recommendations

##### Key Vocabulary: Guidelines versus Recommendations

**Guideline** – Within this design manual, guidelines are considered to be legally enforceable provisions per Section 35-451(a) of the City of San Antonio Unified Development Code.<sup>i</sup>

**Recommendation** - Within this design manual, recommendations are considered to be additional helpful hints to promote compatibility with the unique historic and natural character of the River Road Historic District. Some advisory guidelines also are marked by the word “Appropriate.”

In keeping with the guiding principles that emphasize the need to identify areas of flexibility, this design manual provides both *guidelines* and *recommendations*. Guidelines are regulatory—legally enforceable per reference in the UDC—while recommendations are advisory. Guidelines only apply to work required to obtain a Certificate of Appropriateness (COA). Guidelines versus recommendations also are tiered depending on the visibility from the public right-of-way. Some *advisory* guidelines also are marked by the word “Appropriate.”

**Certificate of Appropriateness applications must comply with all *guidelines* herein for approval by the Historic Design and Review Commission (HDRC).** Recommendations should not be considered essential for approval.

# Citywide versus District-Specific Guidelines and Recommendations

## Selected Citywide Guidelines

Selected citywide guidelines are reproduced below. If marked as a “Guideline” below, a provision should be interpreted as legally enforceable within the River Road Historic District. Citywide guidelines not reproduced below may be considered as recommendations only within the River Road Historic District.

**Note that the Citywide Historic District Design Guidelines may be revised over time. For the most current version, refer to the Office of Historic Preservation’s website, <https://www.sanantonio.gov/historic>.**

## Additional District-Specific Guidelines and Recommendations

This design manual also presents some district-specific guidelines and recommendations that provide greater detail than the citywide guidelines. The district-specific guidelines and recommendations are presented in Section 4.2.2. Provisions flagged as “Guidelines” are intended to be mandatory per UDC reference in the River Road Historic District. Provisions flagged as “Recommendations” are advisory.

## Visibility from the Public Right-of-Way

This district-specific design manual for the River Road Historic District begins by revisiting the guidelines set forth in the citywide Historic District Design Guidelines. Since the River Road Historic District’s call for various levels of flexibility in different situations, this manual breaks down each citywide recommendation for exterior maintenance and alterations to customize the recommendation for the following categories:

- Visible from the public right-of-way
- Not visible from the public right-of-way

The intent of this breakdown is to allow more flexibility for applications that are not visible from the public right-of-way and do not disrupt the overall visual character of the district. However, note that **some historic assets may have designations with overlapping regulations that do not accommodate flexibility for areas not visible from the public right-of-way** – like the Zambrano House, which is designated as a Registered Texas Historic Landmark (RTHL) and must comply with RTHL regulations in addition to the guidelines in this design manual.<sup>ii</sup>

### Key Vocabulary: “Visibility”

Within this design manual, the term “visible from the public-right-of-way” includes facades currently hidden by vegetation and other temporary structures. In most situations, a building feature should be considered visible if (a) it is on the front façade, (b) it is on a street-facing side façade on a corner lot, or (c) it is within the front 15’ of a side façade on an interior lot. The Office of Historic Preservation may provide assistance in interpreting whether a façade is visible in unique situations.

## Historic-Age Buildings and Features

The City of San Antonio’s historic preservation ordinance considers that building fabric that is 25 years or older may contribute to the character of a historic district. Some provisions within this manual specifically mention “historic-age” features. Within the River Road Historic District, buildings and features 25 years or older are generally considered “historic-age.”

### Glossary: Appendix A

For more definitions of key terms used throughout this design manual, refer to the Glossary in Appendix A.

## 4.2. Exterior Walls

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
	<b>All Exterior Walls</b>		
4.2.1.	"Avoid removing materials that are in good condition or that can be repaired in place." <sup>iii</sup>	Guideline	Guideline
	<b>Wood</b>		
4.2.2.	"Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is deteriorated beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures [fig. 4.2.1]. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard [sic] and other cementitious materials are not [appropriate]." <sup>iv</sup>	Guideline	Recommendation
	<b>Masonry and Stucco</b>		
4.2.3.	"Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS [an External Insulation and Finish System] is not an appropriate patching or replacement material for stucco." <sup>v</sup>	Guideline	Guideline
4.2.4.	"The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process." <sup>vi</sup>	Guideline	Guideline
4.2.5.	"Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color." <sup>vii</sup>	Guideline	Recommendation
4.2.6.	"Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry." <sup>viii</sup>	Guideline	Guideline
	<b>Garage [and Outbuilding] Walls</b>		
4.2.7.	"Repair [historic-age] outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture." <sup>ix</sup>	Guideline	Recommendation

### District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.2.8.	When exterior walls are deteriorated beyond repair, the smallest area possible should be replaced (fig. 4.2.2).	Guideline	Guideline



#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.2.9.	Maintain the original texture of exterior walls when painting, replacing stucco, or otherwise refinishing historic wall materials (fig. 4.2.3).	Guideline	Recommendation
4.2.10.	Replacement of deteriorated patches of historic asbestos shingle siding is appropriate, provided that the dimension and texture of the replacement generally match the look of the original (figs. 4.2.4).	Appropriate	Appropriate
4.2.11.	When replacing wood siding that is deteriorated beyond repair on exterior walls that are non-historic (less than 25 years old) or not visible from the public right-of-way, replacement with an alternative material like cementitious siding (Hardie Board) is appropriate provided that it generally visually matches the original building/front façade (fig. 4.2.4). <sup>x</sup>	N/A	Appropriate
4.2.12.	For non-historic buildings (less than 25 years old), siding may be replaced with alternative materials not found on the building historically, provided that the materials are compatible with other siding materials found within the district historically.	N/A	N/A
4.2.13.	Foundation skirting that is deteriorated beyond repair may be replaced with stucco or cement board, provided that the replacement matches the original profile, texture, and character-defining decorative features. <sup>xi</sup>	Appropriate	Appropriate

1



**Figure 4.2.1.** Examples of common siding profiles to be matched as closely as possible when replacing wood siding that is deteriorated beyond repair. Source: Scott Sidler, "The Ultimate Guide to Wood Siding," The Craftsman Blog, updated June 1, 2020, <https://thecraftsmanblog.com/the-ultimate-guide-to-wood-siding/>.

2



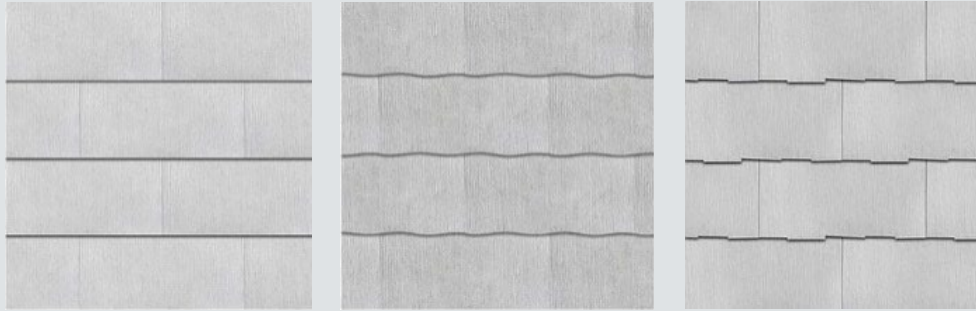
**Figure 4.2.2.** Example of appropriate patching of the smallest possible area to repair deterioration. Replace in-kind for sections that are beyond repair. Not taken in the River Road Historic District. Source: Fredericksburg Historic District Design Guidelines, 2021, crediting the Winter & Company archives.

1



**Figure 4.2.3.** Example of a house maintaining the original stucco exterior and terra-cotta roof tiles. Maintaining the original texture of the stucco exterior is important to preserve for this architecture style, as is preservation of the character-defining historic roof tiles. Source: Photo by HHM, 2021.

2



**Figures 4.2.4.** Examples of available options for textures of cementitious siding—like these—may not match the original profile and dimension of historic siding exactly, but the closest match available should be selected. Source: “Purity Fiber-Cement Siding,” GAF, accessed January 24, 2021, <https://www.gaf.com/en-us/roofing-products/residential-roofing-products/fiber-cement-siding/siding-shingles/weather-side-purity-fiber-cement-siding>.

## 4.3. Doors and Door Openings

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.3.1.	“Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.” <sup>xii</sup>	Guideline	Recommendation
4.3.2.	“Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures” [fig. 4.3.1]. <sup>xiii</sup>	Guideline	Recommendation
4.3.3.	“Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.” <sup>xiv</sup>	Guideline	Recommendation
4.3.4.	“Ensure that new entrances, when necessary to comply with other regulations [such as the Americans with Disabilities Act], are compatible in size, scale, shape, proportion, material, and massing with historic entrances.” <sup>xv</sup>	Guideline	Recommendation
4.3.5.	“Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.” <sup>xvi</sup>	Guideline	Recommendation

### District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.3.6.	Preserve and maintain historic door framing and door surrounds, patching the smallest area possible if deteriorated beyond repair.	Guideline	Recommendation



#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.3.7.	When a historic door previously has been replaced with an incompatible non-historic door, consider replacing it with a period-appropriate door (preferably salvaged) in keeping with the style of the house (as discussed in Section 2). <sup>xvii</sup> (See fig. 4.3.2.)	Recommendation	Recommendation
4.3.8.	Preserve and maintain historic screen doors and hardware unless deteriorated beyond repair.	Guideline	Recommendation
4.3.9.	Allow installation of period-appropriate screen doors—even if not present historically—provided that they are installed in a way that does not damage adjacent historic materials (fig. 4.3.3).	Recommendation	Recommendation
4.3.10.	Non-historic doors or doors not visible from the public right-of-way, replacement may be appropriate provided that it generally matches the style of the house (as described in Section 2).	N/A	Recommendation
4.3.11.	Non-traditional door materials (such as metal and composite materials) are appropriate for doors that are not visible from the public right-of-way. Vinyl is not appropriate in most situations, but may be approved on a case-by-case basis if an appropriate replacement door is not readily available in another material.	N/A	Appropriate
4.3.12.	New doors openings are appropriate for areas not visible from the public right-of-way, provided that they do not damage historic features that are visible from the public right-of-way.	N/A	Appropriate

1



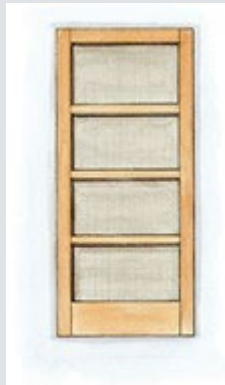
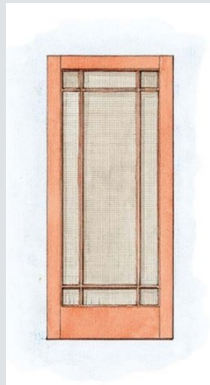
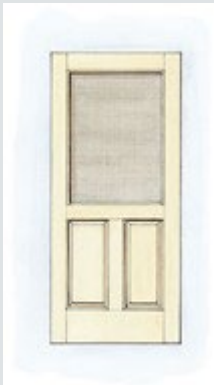
**Figure 4.3.1.** Example of a preserved historic door and door surround that are character-defining features of this house. Source: Photo by HHM, 2021.

2



**Figure 4.3.2.** Example of a door that has been previously replaced with an inappropriate non-historic door that does not fit the style and period of the house. Replacement of this door with a more period-appropriate door is recommended. Source: Photo by HHM, 2021.

1



**Figure 4.3.3.** Examples of period-appropriate screen doors that may be appropriate to add to historic houses, provided that they do not damage surrounding historic fabric. Sources: Patricia Poore, "Period Screen Doors," Old House Online, updated April 9, 2020, <https://www.oldhouseonline.com/gardens-and-exterior/oh-squeeeeeeak-thwack/>; Retro Renovation, accessed January 10, 2021, <https://retrorenovation.com/2015/06/01/screen-door-insert-heron-flamingo-decorative/>; Rejuvenation, accessed January 24, 2021, <https://www.rejuvenation.com/catalog/collections/full-lite-fir-screen-door/>.

## 4.4. Windows and Window Openings

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation <sup>xviii</sup>	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.4.1.	"Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way" [fig. 4.4.1]. <sup>xix</sup>	Guideline	Recommendation
4.4.2.	"Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass." <sup>xx</sup>	Guideline	Recommendation
4.4.3.	"Preserve historic window screens and shutters." <sup>xxi</sup>	Guideline	Recommendation
4.4.4.	"Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows." <sup>xxii</sup>	Guideline	Recommendation
4.4.5.	"Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair [or missing]." <sup>xxiii</sup>	Guideline	Recommendation
4.4.6.	"Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass." <sup>xxiv</sup>	Guideline	Recommendation
4.4.7.	"Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used." <sup>xxv</sup>	Guideline	Recommendation
4.4.8.	"Install security bars only on the interior of windows and doors." <sup>xxvi</sup>	Guideline	Recommendation
4.4.9.	"Utilize wood [window screens with] frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically." <sup>xxvii</sup>	Guideline	Recommendation
4.4.10.	"Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material." <sup>xxviii</sup>	Guideline	Recommendation



# 1 District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.4.11.	If historic documentation (like photos or drawings) shows windows, screens, or shutters that are missing today, consider replicating and restoring them.	Recommendation	Recommendation
4.4.12.	Replace windows that are non-original and non-compatible with new or salvaged windows that are compatible with the architectural style of the building and period-appropriate in profile, dimension, and finish; aluminum replacement windows are acceptable provided that they are period-appropriate in profile, dimensions, and finish (fig. 4.4.2). <sup>xxix</sup>	Appropriate	Appropriate
4.4.13.	New window screens may be installed where they were not present historically, provided that they do not damage or visually obscure adjacent historic features. New window screens should be non-reflective and use a slim, minimal profile to avoid drawing attention from historic features (fig. 4.4.3).	Appropriate	Appropriate
4.4.14.	For windows on non-historic buildings (less than 25 years old), replacement windows using different materials (such as metal or composite materials) may be appropriate – provided that the profile and dimensions of the replacement windows are generally in keeping with windows historically found in the district. Vinyl windows are not appropriate in most situations, but they may be approved on a case-by-case basis if an appropriate replacement window is not readily available in another material.	Appropriate	Appropriate
4.4.15.	For windows that are deteriorated beyond repair on façades that are not visible from the public right-of-way, replacement windows using different materials (such as metal or composite materials) may be appropriate – provided that the profile and dimensions of the replacement windows are generally in keeping with windows historically found in the district. Vinyl windows are not appropriate in most situations, but they may be approved on a case-by-case basis if an appropriate replacement window is not readily available in another material.	N/A	Appropriate
4.4.16.	On facades not visible from the public right-of-way, new openings or enlarged openings are appropriate provided that they do not impact weight-bearing members and other historic features.	N/A	Appropriate
4.4.17.	For non-historic buildings (less than 25 years old), new openings and enlarged openings are appropriate even if visible from the public right-of-way, provided that the pattern and size is generally in keeping with the fenestration patterns appropriate for the style of the house and/or found in the district.	Appropriate	Appropriate



**BEFORE**



**AFTER (INAPPROPRIATE)**

**Figure 4.4.1.** Example of an inappropriate alteration that added a new window and enlarged another window opening. Source: Photo by HHM, 2021.





**Figure 4.4.2.** Example of windows on the primary façade of a historic building that are both non-original and non-compatible. Although these windows likely are more than 25 years old, they do not need to be preserved since they are non-compatible. If the owner chooses to replace these windows, the new windows that are visible from the public right-of-way must be similar to those found on other Mission Revival buildings in the district. Aluminum windows would be allowable. Proactive replacement of the windows is recommended but not required. Source: Photo by HHM, 2021.



**Figure 4.4.3.** Example of compatible window screens that use a minimal profile and non-reflective screening so that they do not damage or obscure historic window features. Source: Photo by HHM, 2021.

## 4.5. Roofs and Roof Features

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.5.1.	"Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed."xxx	Guideline	Guideline



#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.5.2.	"Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary." <sup>xxxix</sup>	Guideline	Recommendation
4.5.3.	"Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends." <sup>xxxix</sup>	Guideline	Recommendation
4.5.4.	"Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is recommended (e.g., slate or clay tiles)" [fig. 4.4.3 above]. <sup>xxxix</sup> "Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible" [fig. 4.5.1]. <sup>xxxix</sup>	Guideline	Recommendation
4.5.5.	"Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way." <sup>xxxix</sup>	Guideline	Recommendation
4.5.6.	"Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible."	Guideline	Recommendation

## 1 District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.5.7.	When replacing non-original roofing, consider both metal roofs and composition shingle roofs appropriate for all buildings in the district (regardless of the original roof), provided that installation does not require removing historic-age materials or features (fig. 4.5.2).	Appropriate	Appropriate
4.5.8.	If using a metal roof on a house built before 1930, follow the "Checklist for Metal Roofs" in the citywide guidelines; consider ridge caps with vents and/or end caps as appropriate if the house was built in 1930 or after (fig. 4.5.2).	Guideline	Recommendation
4.5.9.	Alterations to roof forms may be considered appropriate provided that they only impact non-buildings or roof slopes not visible from the public right-of-way.	N/A	Appropriate
4.5.10.	If the roof form is altered, the new roof form should reflect the style of the building (as described in Section 2) and/or roof forms found in the district historically. Single-sloped roof forms and complex roof forms are not appropriate if visible from the public right-of-way.	Guideline	Recommendation



**Figure 4.5.1.** Example of a new roofing material that makes an effort to be consistent with the building's style. This roof replaced a conventional rectangular-composite shingle roof (visible in Google Street View photos from 2007), so no historic materials were removed or damaged for the installation of this roof. Source: Photo by HHM, 2021.

1



**Figure 4.5.2.** Example of a metal roof on a historic bungalow. Metal roofing is only appropriate throughout the district, provided that its installation does not remove or damage character-defining historic features. For buildings dating before 1930—like this one—the ridge cap and seams for the metal roof must comply with the “Checklist for Metal Roofs” in the citywide guidelines. Source: Photo by HHM, 2021.

2

## 4.6. Porches

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.6.1.	"Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present." <sup>xxxvi</sup>	Guideline	Recommendation
4.6.2.	"Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing." <sup>xxxvii</sup>	Guideline	Recommendation
4.6.3.	"Preserve original wood or concrete porch floors [unless they are deteriorated beyond repair]. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically." <sup>xxxviii</sup>	Guideline	Recommendation
4.6.4.	"Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric" [fig. 4.6.1]. <sup>xxxix</sup>	Guideline	Recommendation
4.6.5.	"Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish." <sup>xl</sup>	Guideline	Recommendation
4.6.6.	"Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance" [fig. 4.6.2]. <sup>xli</sup>	Guideline	Recommendation

### District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.6.7.	Screened enclosures of historic porches are appropriate, provided that the attachments do not damage or remove adjacent historic building fabric, and provided that the screening is non-reflective and does not obscure visibility of character-defining historic features (fig. 4.6.1). <sup>xlii</sup>	Appropriate	Appropriate
4.6.8.	Consider removing any non-original porch features that do not match the period or style of the house (fig. 4.6.2).	Recommendation	Recommendation
4.6.9.	Alterations of porches that are not visible from the public right-of-way may be appropriate provided that they do not remove or damage historic fabric.	N/A	Appropriate
4.6.10.	Alterations of porches on non-historic buildings may be appropriate even if visible from the public right-of-way, provided that they are generally in keeping with the character of porches present in the neighborhood historically. However, new porches on non-historic houses should appear new and avoid creating a false historic appearance.	N/A	N/A



#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Visible from public right-of-way
4.6.11.	If porch flooring or decking is deteriorated beyond repair, replace the smallest area possible matching the original in profile and dimension. If wholesale replacement is required, use of a composite material is acceptable, provided that it matches the dimension of the original, does not use integrated coloring or a faux wood grain, and boards are installed perpendicular to the façade with a slope away from the building to prevent water infiltration at the façade. <sup>xliii</sup>	Guideline	Recommendation

1



**Figure 4.6.1.** An example of a simple, transparent screened enclosure on a historic front porch that maintains visibility of the character-defining features of the historic Craftsman house. Source: Photo by HHM, 2021.

2



**Figure 4.6.2.** Example of a porch with non-original Victorian-inspired "gingerbread" brackets that do not match the period or style of the house, applied before the designation of the River Road Historic District. These elements create a false historic appearance. Removal of the brackets is recommended but not required. Source: Photo by HHM, 2021.

3

## 4.7. Landscape and Site Features

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
	<b>Topographic Features</b>		
4.7.1.	"Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion." <sup>xliv</sup>	Guideline	Guideline
	<b>Historic Fences and Walls</b>		
4.7.2.	"Retain historic fences and walls." <sup>xlv</sup>	Guideline	Recommendation
4.7.3.	"Replace only deteriorated sections [of historic walls and fences] that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original." <sup>xlvi</sup>	Guideline	Recommendation
4.7.4.	"Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings." <sup>xlvii</sup>	Guideline	Recommendation
	<b>Trees</b>		
4.7.5.	"Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements." <sup>xlviii</sup>	Guideline	Guideline
	<b>Parkways and Planted Medians</b>		
4.7.6.	"Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found." <sup>xlix</sup>	Guideline	Recommendation
	<b>Street Elements</b>		
4.7.7.	"Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time." <sup>l</sup>	Guideline	Recommendation
4.7.8.	"Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials." <sup>li</sup>	Guideline	Recommendation
	<b>Impervious Cover</b>		
4.7.9.	"Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place." <sup>lii</sup>	Guideline	Recommendation
4.7.10.	"Every effort should be made to match existing sidewalk color and material [when replacing deteriorated sidewalks and walkways]." <sup>liii</sup>	Guideline	Recommendation
4.7.11.	"Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree." <sup>liv</sup>	Guideline	Recommendation
4.7.12.	"Retain and repair in place historic driveway configurations, such as ribbon drives [fig. 4.7.1]. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration." <sup>lv</sup>	Guideline	Recommendation
	<b>Curbing</b>		



#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.7.13.	“Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.” <sup>lvi</sup>	Guideline	Recommendation
4.7.14.	“Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original.” <sup>lvii</sup>	Guideline	Recommendation

## 1 District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.7.15.	Preserve and maintain all structures and landscape features associated with the historic acequia system, including—but not limited to—ditches, swales, retaining walls, desagues, culverts, and topography.	Guideline	Guideline
4.7.16.	Do not add front-yard fences where they were not present historically.	Guideline	N/A
4.7.17.	Chain-link fences should be maintained and preserved if present historically, but chain-link should not be considered an appropriate material for new fences. (See fig. 2.2.11 above.)	Guideline	Guideline
4.7.18.	If a non-historic front-yard fence is present, consider removing it to restore the historic open continuity of front yards.	Recommendation	N/A
4.7.19.	Do not cut or trim existing trees in a way that reduces shade coverage to less than 25 percent per lot.	Guideline	Guideline
4.7.20.	Consider planting trees over time to increase the shade coverage on each lot to at least 25 percent, selecting from the character-defining tree types listed in Section 2.	Recommendation	Recommendation
4.7.21.	Impervious cover should not comprise more than 50 percent of a front yard. <sup>lviii</sup>	Guideline	N/A
4.7.22.	For lawns, low-growing native plantings should be considered an appropriate substitute for grass (fig. 4.7.2). Consider selecting plantings similar to those found within the neighborhood historically, as listed in Section 2. <sup>lix</sup>	Appropriate	Appropriate
4.7.23.	If the historic lawn area was replaced with hardscaping previously, it is not required to restore the lawn, but consider replacing any hardscaping with pervious materials (fig. 4.7.3).	Recommendation	Recommendation
4.7.24.	Maintain vegetative material and/or impervious hardscaping in planting strips between the sidewalk and curb (fig. 4.7.4).	Guideline	N/A
4.7.25.	Alterations to plantings features not visible from the public right-of-way are appropriate, provided that they do not have the potential to adversely impact historic-age buildings or historic-age landscape features.	N/A	Appropriate
4.7.26.	Removal and replacement of existing non-historic plant material may be appropriate, even if visible from the public right-of-way.	Appropriate	Appropriate
4.7.27.	When replacing existing non-historic plant materials, consider selecting from the native plantings listed as character-defining landscape features in Section 2.	Recommendation	Recommendation
4.7.28.	Addition of rain catchment systems is appropriate provided that they do not visually obstruct character-defining features on the building’s front façade. <sup>lx</sup>	Appropriate	Appropriate



#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.7.29.	For non-historic properties and areas not visible from the public right-of-way, additions of new hardscapes are appropriate provided that UDC requirements regarding impervious cover are met. Consider use of pervious hardscapes to minimize impervious cover (fig. 4.7.5).	N/A	Appropriate
4.7.30.	New front decks and patios are appropriate provided that they are not visible from the public right-of-way.	N/A	Appropriate
4.7.31.	Do not add new freestanding mailboxes; mount mailboxes to façades or fences/walls, consistent with historic patterns in the district.	Guideline	N/A
4.7.32.	Preserve and maintain historic-age bollards.	Guideline	Recommendation
4.7.33.	Do not add curbs in areas where they were not present historically. (See fig. 2.2.18 above.)	Guideline	Recommendation
4.7.34.	Addition of non-historic bollards is appropriate for safety in areas without curbs, provided that the design of the bollards is minimal and in keeping with the historic character of the district.	Appropriate	Appropriate

1



**Figure 4.7.1.** Example of an original ribbon driveway in the River Road Historic District. Source: Photo by HHM, 2021.

2



**Figure 4.7.2.** Note how the new plant materials in this yard maintain a low profile and do not visually obstruct the historic house. Source: Photo by HHM, 2021.

1



**Figure 4.7.3.** Example of a yard with 50 percent of the historic lawn area replaced with hardscaping, using a combination of impermeable materials (flagstone) and permeable materials (gravel). Replacement of the flagstone with either landscaping or a permeable material like gravel or mulch is recommended but not required. Source: Photo by HHM, 2021.

2





**Figure 4.7.4.** This example of a planting strip between the sidewalk and the street uses an appropriate combination of plant materials and pervious hardscape (gravel). Source: Photo by HHM, 2021.



**Figure 4.7.5.** Example of a lawn previously replaced with pervious hardscape (gravel and river rocks). Source: Photo by HHM, 2021.



## 4.8. Energy Efficiency Features

### Selected Citywide Guidelines

#	Citywide Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.8.1.	"Preserve elements of historic buildings that are energy efficient including awnings, porches, recessed entryways, overhangs, operable windows, and shutters." <sup>lxi</sup>	Guideline	Recommendation
4.8.2.	"Restore original windows to working order. Install compatible and energy-efficient replacement windows when existing windows are deteriorated beyond repair. Replacement windows must match the appearance, materials, size, design, proportion, and profile of the original historic windows." <sup>lxii</sup>	Guideline	Recommendation

### District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
4.8.3.	Installation of solar panels is encouraged in all locations. When feasible, consider installing solar panels so that they do not physically damage any historic materials (fig. 4.8.1). <sup>lxiii</sup>	Recommendation	Recommendation
4.8.4.	White roofs are appropriate provided that they do not entail removal of historic character-defining roof features (like clay tiles or slate shingles). <sup>lxiv</sup>	Appropriate	Appropriate



**Figure 4.8.1.** Example of a solar panel on a roof of a detached garage. Source: Photo by HHM, 2021.

## Endnotes

<sup>i</sup> San Antonio, Texas – Unified Development Code, Sec. 35-451, from Municode, accessed February 15, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTIVPR\\_DIV5HIDERE\\_S35-451CEAP](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTIVPR_DIV5HIDERE_S35-451CEAP). This code section states that, "Applications proposing work or changes to the exterior...shall require review for appropriateness with the provisions of this article, and any adopted design guidelines." [Code section and link to be updated for final.]

<sup>ii</sup> "Recorded Texas Historic Landmarks," Texas Historical Commission, accessed February 18, 2022, <https://www.thc.texas.gov/preserve/projects-and-programs/recorded-texas-historic-landmarks>.

- iii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 4, Guideline 1.B.i.
- iv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 4, Guideline 1.B.ii. Note that this recommendation is consistent with the Office of Historic Preservation’s proposed new section for the Citywide Design Guidelines, entitled “Replacement & Substitute Materials for Historic Structures” [Draft March 2020], from the City of San Antonio, [https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide\\_Replacement%20Materials.pdf](https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide_Replacement%20Materials.pdf). [Update for final if adopted.]
- v Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 6, Guideline 2.B.i.
- vi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 6, Guideline 2.B.ii.
- vii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 6, Guideline 2.B.ii.
- viii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 6, Guideline 2.B.iii.
- ix Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 24, Guideline 9.A.ii.
- x This provision is consistent with the Principle #3 of the *Citywide Historic District Guidelines*, which states that, “Building features not visible from the public right-of-way are less likely to detract from the character of the structure or district. More flexibility in the treatment and/or replacement of features in these locations may be considered if the historic integrity of the structure has already been lost or compromised and/or other unique circumstances exist that warrant consideration of a more flexible approach” (Section 1, p. 14).
- xi Consistent with the proposed Office of Historic Preservation “Replacement & Substitute Materials for Historic Structures” [Draft March 2020].
- xii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.A.i.
- xiii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.A.ii.
- xiv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.B.i.
- xv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.B.ii.
- xvi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 1, Guideline 6.B.vi.
- xvii Consistent with the proposed Office of Historic Preservation “Replacement & Substitute Materials for Historic Structures” [Draft March 2020].
- xviii Cited directly from the Clarion and HHM, *Citywide Historic District Guidelines*, various sections, per endnote viii above.
- xix Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.A.i.
- xx Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.A.iii. Note that this recommendation is consistent with the Office of Historic Preservation’s proposed new section for the Citywide Design Guidelines, entitled “Windows: Repair, Replacement, & New Construction” [Draft March 2020], from the City of San Antonio, [https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide\\_Windows%20Update.pdf](https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide_Windows%20Update.pdf). [Update for final if adopted.]
- xxi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.A.iv.
- xxii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.B.iii.
- xxiii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.B.iv. Additional detail regarding selecting appropriate replacement windows is provided within the Office of Historic Preservation’s “Windows: Repair, Replacement, & New Construction” [Draft March 2020]. [Update for final if adopted.]
- xxiv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 16, Guideline 6.B.v.
- xxv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 17, Guideline 6.B.vi.
- xxvi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 17, Guideline 6.B.viii.
- xxvii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 17, Guideline 6.B.ix.
- xxviii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 17, Guideline 6.B.x.
- xxix Note that this provision does not refer to the 25-year cutoff for historic age; windows that are more than 25 years old may be replaced under this provision if they are non-original and non-compatible.
- xxx Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.A.i.
- xxxi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.B.ii.
- xxxii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.B.iii.
- xxxiii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.B.iv.
- xxxiv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.B.iv.
- xxxv Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 8, Guideline 3.B.v.
- xxxvi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.A.i.
- xxxvii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.A.ii.
- xxxviii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.A.iii.
- xxxix Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.B.i.

- xl Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.B.iii.
- xli Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.B.iv.
- xlvi Note that this is consistent with the *Citywide Historic District Guidelines*, Section 2, p. 20, Guideline 7.B.i (reproduced above as guideline 3.7.4), which allows approval of screened panels provided that they are “simple in design as to not change the character of the structure or the historic fabric.”
- xlvi Consistent with the proposed Office of Historic Preservation “Replacement & Substitute Materials for Historic Structures” [Draft March 2020].
- xlvii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 2, Guideline 1.A.i.
- xlviii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 4, Guideline 2.A.i.
- xlix Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 4, Guideline 2.A.ii.
- l Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 4, Guideline 2.A.iii.
- lii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 9, Guideline 3.D.i. [UDC citation to be updated for final if changed.]
- liii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 12, Guideline 4.B.ii.
- liiii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 12, Guideline 4.C.i.
- lv Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 12, Guideline 4.C.ii.
- lvi Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.A.i.
- lvii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.A.ii.
- lviii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.A.iii.
- lix Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.B.i.
- lxi Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.C.i.
- lxii Clarion and HHM, *Citywide Historic District Guidelines*, Section 5, p. 14, Guideline 5.C.ii.
- lxiii Consistent with UDC Section 3-515(d)(1), from MuniCode, accessed February 18, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVDEST\\_DIV4LOLAHEDEINST\\_S35-515LOLARE](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVDEST_DIV4LOLAHEDEINST_S35-515LOLARE). Also consistent with the Office of Historic Preservation’s proposed new section for the Citywide Design Guidelines, entitled “Xeriscaping & Responsible Landscaping,” [Draft March 2020], from the City of San Antonio, [https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide\\_Xeriscaping.pdf](https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide_Xeriscaping.pdf). [Update for final if adopted.]
- lxiv Consistent with the Office of Historic Preservation’s “Xeriscaping & Responsible Landscaping,” [Draft March 2020].
- lxv Consistent with the Office of Historic Preservation’s “Xeriscaping & Responsible Landscaping,” [Draft March 2020].
- lxvi Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 30, Guideline 12.A.i.
- lxvii Clarion and HHM, *Citywide Historic District Guidelines*, Section 2, p. 30, Guideline 12.A.iii.
- lxviii Consistent with the Office of Historic Preservation’s proposed new section for the Citywide Design Guidelines, entitled “Sustainability Guide for Older Structures” [Draft January 2020], from the City of San Antonio, [https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide\\_Sustainability.pdf](https://www.sanantonio.gov/Portals/0/Files/HistoricPreservation/CurrentProjects/UDC%20Docs/Draft%20Policy%20Guide_Sustainability.pdf).
- lxix Consistent with the Office of Historic Preservation’s “Sustainability Guide for Older Structures” [Draft January 2020].



# Section 5: Additions

## 5.1. Applying this Design Manual

### Guiding Principles

#### Guiding Principles from the *Secretary's Standards for Historic Preservation*

To learn more about the principles that underlie these guidelines and standards, refer to the Preservation Resource Toolkit in *Appendix E*, which includes the *Secretary's Standards for Historic Preservation*. The *Secretary's Standards* establish nationwide best practices for historic preservation.

### Applicability

#### Guidelines versus Recommendations

##### Key Vocabulary: Guidelines versus Recommendations

**Guideline** – Within this design manual, guidelines are considered to be legally enforceable provisions per Section 35-451(a) of the City of San Antonio Unified Development Code.<sup>1</sup>

**Recommendation** - Within this design manual, recommendations are considered to be additional helpful hints to promote compatibility with the unique historic and natural character of the River Road Historic District. Some advisory guidelines also are marked by the word “Appropriate.”

#### Citywide versus District-Specific Guidelines and Recommendations

When considering designing an addition in the River Road Historic District, begin by reading the San Antonio citywide Historic District Design Guidelines, which provide the foundation for evaluating additions in all San Antonio Historic Districts. Citywide guidelines regarding additions are provided in Section 3, available online at [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/3\\_Additions.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/3_Additions.pdf).

#### Selected Citywide Guidelines

Selected citywide guidelines are reproduced below. If marked as a “guideline” below, these items should be interpreted as legally enforceable within the River Road Historic District. Citywide guidelines not reproduced below should be considered as recommendations only within the River Road Historic District. New additions will be held accountable to meet these specific guidelines as part of the City’s permitting process.

**Note that the Citywide Historic District Design Guidelines may be revised over time. For the most current version, refer to the Office of Historic Preservation’s website, <https://www.sanantonio.gov/historic>.**

#### Additional District-Specific Guidelines and Recommendations

This design manual also presents some guidelines and recommendations specific to the River Road Historic District, which provide greater detail than the citywide guidelines. The district-specific guidelines and recommendations are presented in Section 4.2.2. Provisions flagged as “Guidelines” are intended to be mandatory per UDC reference in the River Road Historic District. Provisions flagged as “Recommendations” are advisory.

#### Visibility from the Public Right-of-Way

This manual breaks down each guideline or recommendation into the following categories:

- Visible from the public right-of-way
- Not visible from the public right-of-way

The intent of this breakdown is to allow more flexibility for applications that are not visible from the public right-of-way and do not disrupt the overall visual character of the district. However, note that **some historic assets may have designations with overlapping regulations that do not accommodate flexibility for areas not visible from the public right-of-way** – like the Zambrano House, which is designated as a Registered Texas Historic Landmark (RTHL) and must comply with RTHL regulations in addition to the guidelines in this design manual.<sup>ii</sup>

### Key Vocabulary: “Visibility”

Within this design manual, the term “visible from the public-right-of-way” includes façades currently hidden by vegetation and other temporary structures. In most situations, a building feature should be considered visible if (a) it is on the front façade, (b) it is on a street-facing side façade on a corner lot, or (c) it is within the front 15’ of a side façade on an interior lot. The Office of Historic Preservation may provide assistance in interpreting whether a façade is visible in unique situations.

## Buildings Not Yet 25 Years Old

This section of the River Road Historic District Design Manual applies to all buildings within the district’s boundaries regardless of age of construction. Buildings not yet 50 years old are *not exempt* from any of the guidelines or standards below. Even if they are not yet 25 years old, buildings located within the boundaries of the River Road Historic District still must comply with the guidelines set forth in this section.

## 5.2. Guidelines and Recommendations for Additions

### Understanding Key Vocabulary

The guidelines and recommendations below use architectural terms that may not be familiar for many property owners. For definitions of key terms used throughout this design manual, refer to the Glossary in *Appendix A*.

## Selected Citywide Guidelines

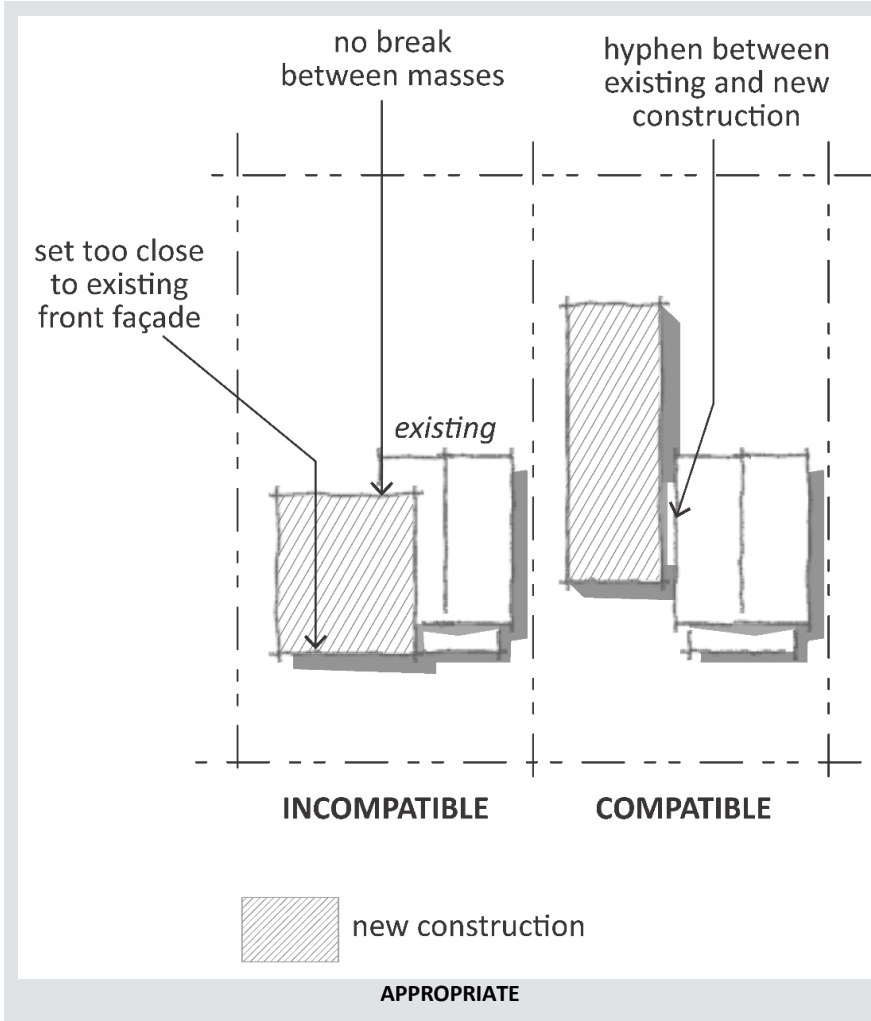
#	Citywide Guideline <sup>iii</sup>	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
5.2.1.	“Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.” <sup>iv</sup>	Guideline	Recommendation
5.2.2.	“Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms” (fig. 5.2.1). <sup>v</sup>	Guideline	Recommendation
5.2.3.	“Do not use [noncompatible] imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.” <sup>vi</sup> (See District-Specific Guideline 5.2.15 below regarding fiber-cement siding.)	Guideline	Recommendation

## District-Specific Guidelines and Recommendations

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
5.2.4.	Follow all standards within the City of San Antonio Unified Development Code – especially lot layout and setback standards. <sup>vii</sup>	Guideline	Guideline
5.2.5.	Minimize the addition’s impact on the district’s tree canopy. Preserve existing trees sufficiently to retain 25 percent shade coverage on the lot in spring/summer. If less than 25 percent of the lot was covered in shade prior to constructing the addition, bringing shade coverage up to 25 percent is encouraged.	Recommendation	Recommendation

#	District-Specific Guideline/Recommendation	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
5.2.6.	Avoid constructing additions in a manner that removes or obstructs any historic exterior features on the front of the building or the sides within 15 feet of the front façade.	Guideline	Recommendation
5.2.7.	Set back a new ground-level addition a minimum of 15 feet measured from the front wall of the house (excluding the porch, fig. 5.2.1). An exemption to this guideline may be granted by the historic and design review commission in unique circumstances where it is not reasonable to set back the addition 15 feet. <sup>viii</sup>	Guideline	Guideline
5.2.8.	A side addition's roof ridge may not rise higher than the roof ridge of the original house (fig. 5.2.2).	Guideline	Guideline
5.2.9.	Additions may gain additional height if set back behind the original rear façade, with a maximum height no more than 10 feet taller than the original portion of the building, measured from the original roof peak to the addition's roof peak (fig. 5.2.3). Heights are measured from the grade plane to the highest point on the roof. The height limit allowed by this design manual may be lower than the maximum allowable height within the Unified Development Code.	Guideline	Guideline
5.2.10.	The maximum height of an addition may not be more than 30 feet tall. Heights are measured from the grade plane to the highest point on the roof. The 30-foot height limit may be fewer than 10 feet taller than the original house. The height limit allowed by this design manual may be lower than the maximum allowable height within the Unified Development Code.	Guideline	Guideline
4.2.12	Avoid visually overwhelming the original building.	Guideline	Recommendation
5.2.13	The roof form used for a new addition should match one of the roof forms found among the buildings in the district that are at least 25 years old (as shown in the discussion of Architectural Styles in Section 2.1.).	Guideline	Recommendation
5.2.14	The roof slope for an addition should reflect slopes found among buildings in the district that are at least 25 years of age, ranging from flat (0-inch rise over 12-inch run) to steep (maximum 16-inch rise over 12-inch run). (See fig. 5.2.4.)	Guideline	Recommendation
5.2.15	Fiber-cement siding is appropriate for additions to buildings with wood siding on the original portion, provided that the overall design is compatible with the historic building.	Appropriate	Appropriate
5.2.17	Limit the materials palette for additions to only one or two materials to avoid visually overwhelming the original building.	Guideline	Recommendation
5.2.18	Do not use faux-historic ornamentation or detailing on a new addition.	Guideline	Recommendation
5.2.19	If designing an addition in a contemporary style, reflect the scale, massing, roof form and/or materials of the historic building; if designing an addition in a style that reflects the style of the historic building, minimize ornamentation and differentiate roof form, and/or materials – at least slightly (figs. 5.2.5 and 5.2.6).	Guideline	Recommendation
5.2.20	Consider using windows that reflect the proportion and configuration of the original building. However, if the addition's roof form and materials reflect the original building, windows may be differentiated as a means to avoid creating a false sense of history. <sup>ix</sup>	Recommendation	Recommendation
5.2.21	Windows and doors on additions must be recessed behind the wall plan at least 2 inches in depth.	Guideline	Recommendation





**Figure 5.2.1.** Sketch of a site plan showing an incompatible addition (left) versus a compatible addition (right). Note that the compatible addition is set back from the front façade and uses a hyphen between the new and original building masses. Source: Drawing by HHM.

1



**Figure 5.2.2.** Example of an appropriate side/rear addition that is set back from the first façade and rises no higher than the original house. Source: Photo by HHM, 2021.

2



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**Figure 5.2.3.** Examples of two rear additions – both using appropriate height and massing. Both are set back from the front façade, both do not gain height until they reach the original rear façade, and both use a maximum height that is within 10 feet of the original house and lower than 30 feet. Source: Photos by HHM, 2021.

1

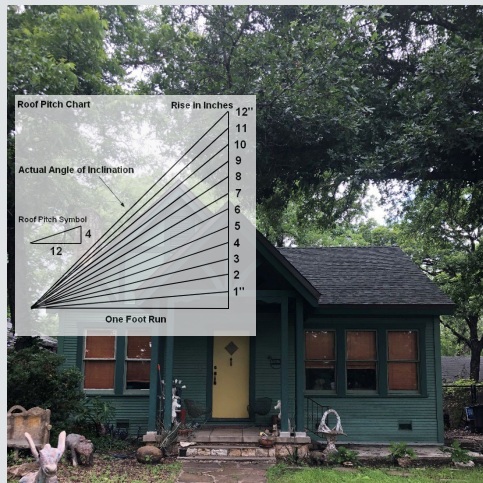


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**Figure 5.2.4.** Chart showing roof pitches and slopes, with appropriate slopes and pitches, ranging from flat (0-inch rise over 12-inch run) to steep (maximum 16-inch rise over 12-inch run). Source: “Determining Roof Pitch” Carpentry-Pro-Framer, accessed November 9, 2021, <https://www.carpentry-pro-framer.com/roof-pitch.html>; photos by HHM, 2021.



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**Figure 5.2.5.** Two examples of additions that use contemporary architectural styles – one appropriately (left), the other inappropriately (right). The appropriate example (left) is set back with a hyphen, echoes the original roof form, and does not rise higher than the original house. The inappropriate example (right) disrupts the original roof form and is not set back behind the original rear façade. Sources: Clayton & Little Architects (left), photo by HHM, ca. 2010 (right).

1



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INAPPROPRIATE

**Figure 5.2.6.** Two examples of additions that use historically inspired architectural styles – one appropriately (left), the other inappropriately (right). The appropriate example (left) echoes the stucco and ceramic tile materials of the original house, but it is set back and uses a flat roof form to differentiate it from the original house; also note the subtle use of concrete block on the side façade of the addition to further differentiate it. The inappropriate example (right) copies the Craftsman details of the original house in a way that creates a false sense of history and detracts from the original; it also is set too far forward and partially destroys the original roof form. Sources: Photos by HHM, 2021 (left) and ca. 2010 (right).

2



# Endnotes

<sup>i</sup> *San Antonio, Texas – Unified Development Code*, Sec. 35-451, from Municode, accessed February 15, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTIVPR\\_DIV5HIDERE\\_S35-451CEAP](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTIVPR_DIV5HIDERE_S35-451CEAP). This code section states that, “Applications proposing work or changes to the exterior...shall require review for appropriateness with the provisions of this article, and any adopted design guidelines.” [Code section and link to be updated for final.]

<sup>ii</sup> “Recorded Texas Historic Landmarks,” Texas Historical Commission, accessed February 18, 2022, <https://www.thc.texas.gov/preserve/projects-and-programs/recorded-texas-historic-landmarks>.

<sup>iii</sup> Cited directly from the Clarion and HHM, *Citywide Historic District Guidelines*, various sections. Note that the section headings for the citywide guidelines do not precisely match this design manual, so in some instances citywide guidelines/standards have been reorganized. The numbering for standards/guidelines also reflects the organization of this design manual; citywide guidelines are not numbered. However, the language from the citywide guidelines is quoted *verbatim*, with necessary revisions/additions noted using “[bracketed text].”

<sup>iv</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 3, p. 2, Guideline 1.A.i.

<sup>v</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 3, p. 2, Guideline 1.A.iv.

<sup>vi</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 3, p. 8, Guideline 3.B.i.

<sup>vii</sup> “Division 4 – Lot Layout, Height, and Density/Intensity Standards,” Municode: San Antonio, TX, accessed November 8, 2021, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVDEST\\_DIV4LOLAHEDEINST](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVDEST_DIV4LOLAHEDEINST).

<sup>viii</sup> UDC Sec.35-608(a), from Municode, accessed February 18, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTVIHIPRURDE\\_DIV2HIPR\\_S35-608CEAPCOAPEN](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTVIHIPRURDE_DIV2HIPR_S35-608CEAPCOAPEN). This code section states that “the historic and design review commission shall consider the current needs of the property owner and whether the plans will be reasonable for the property owner to carry out.” [Update section & link for final if UDC changes.]

<sup>ix</sup> Note that this guideline maintains the spirit of the Office of Historic Preservation’s “Windows: Repair, Replacement, & New Construction” [Draft March 2020] – with some differences in detail. That document allows less flexibility in differentiation of window dimensions and configuration. However, more flexibility is appropriate in the River Road Historic District given its unique and eclectic architectural character.

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# Section 6: New Construction

## 6.1. Applying this Design Manual

### Guiding Principles

#### Guiding Principles from the *Secretary of the Interior's Standards for Historic Preservation*

To learn more about the principles that underlie these guidelines and standards, refer to the Preservation Resource Toolkit in *Appendix E*, which includes the *Secretary of the Interior's Standards for Historic Preservation*. The *Secretary's Standards* establish nationwide best practices for historic preservation.

### Applicability

#### Guidelines versus Recommendations

##### Key Vocabulary: Guidelines versus Recommendations

**Guideline** – Within this design manual, guidelines are considered to be legally enforceable provisions per Section 35-451(a) of the City of San Antonio Unified Development Code.<sup>1</sup>

**Recommendation** - Within this design manual, recommendations are considered to be additional helpful hints to promote compatibility with the unique historic and natural character of the River Road Historic District. Some advisory guidelines also are marked by the word “Appropriate.”

#### Citywide versus District-Specific Guidelines and Recommendations

When considering designing a new building in the River Road Historic District, begin by reading the San Antonio citywide Historic District Design Guidelines, which provide the foundation for evaluating new constructions in all San Antonio Historic Districts. Citywide guidelines regarding new construction are provided in Section 4, available online at [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/4\\_%20NewConstruction.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/4_%20NewConstruction.pdf).

#### Selected Citywide Guidelines

Selected citywide guidelines are reproduced below. If marked as a “Guideline” below, a provision should be interpreted as legally enforceable within the River Road Historic District. Citywide guidelines not reproduced below may be considered as recommendations only within the River Road Historic District.

**Note that the Citywide Historic District Design Guidelines may be revised over time. For the most current version, refer to the Office of Historic Preservation’s website, <https://www.sanantonio.gov/historic>.**

#### Additional District-Specific Guidelines and Recommendations

This design manual also presents some district-specific guidelines and recommendations that provide greater detail than the citywide guidelines. The district-specific guidelines and recommendations are presented in Section 4.2.2. Provisions flagged as “Guidelines” are intended to be mandatory per UDC reference in the River Road Historic District. Provisions flagged as “Recommendations” are advisory.

#### Visibility from the Public Right-of-Way

This manual breaks down each guideline or recommendation into the following categories:

- Visible from the public right-of-way
- Not visible from the public right-of-way

The intent of this breakdown is to allow more flexibility for applications that are not visible from the public right-of-way and do not disrupt the overall visual character of the district.



**Key Vocabulary: “Visibility”**

Within this design manual, the term “visible from the public-right-of-way” includes façades currently hidden by vegetation and other temporary structures. In most situations, a building feature should be considered visible if (a) it is on the front façade, (b) it is on a street-facing side façade on a corner lot, or (c) it is within the front 15’ of a side façade on an interior lot. The Office of Historic Preservation may provide assistance in interpreting whether a façade is visible in unique situations.

**6.2. New Construction****Understanding Key Vocabulary**

The guidelines and recommendations below use architectural terms that may not be familiar for many property owners. For definitions of key terms used throughout this design manual, refer to the Glossary in *Appendix A*.

**Selected Citywide Guidelines**

#	Citywide Guideline	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
	<b>Primary Buildings</b>		
6.2.1.	“Setbacks—Align front facades of new [primary] buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements” (fig. 6.2.1). <sup>ii</sup>	Guideline	N/A
6.2.2.	“Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.” <sup>iii</sup>	Guideline	N/A
6.2.3.	“Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street” (fig. 6.2.2). <sup>iv</sup>	Guideline	Recommendation
6.2.4.	“Building to lot ratio— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings [older than 25 years] establish a precedent with a greater building to lot ratio.” <sup>v</sup> [Adjacent properties are those lots that share a boundary, either to the sides or to the rear. Lot coverage for adjacent properties should be calculated only using buildings/portions of buildings that are more than 25 years old; additions and new buildings less than 25 years old should not be counted as compatible comparisons.]	Guideline	Guideline
6.2.5.	“Incorporate [multifamily] dwelling units into historically-common building sizes and forms within the established context area... In context areas with smaller buildings [like the River Road Historic District], a more appropriate response would be to separate the units into smaller, individual building forms.” <sup>vi</sup>	Guideline	Guideline

#	Citywide Guideline	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
6.2.6.	"[If] multiple buildings are proposed for a site, they should be separated and scaled in a manner that preserves open space consistent with the established context area. For example, if the context area predominately consists of a primary structure separated from a rear accessory structure by a common distance, then the proposed development should follow a similar pattern. Preserved open space may be used for common areas, amenity space, or uncovered parking." <sup>vii</sup>		
	<b>Auxiliary Buildings</b>		
6.2.7.	"Orientation-Match the predominant garage [or other auxiliary building] orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used" (fig. 6.2.3). <sup>viii</sup>	Guideline	Recommendation
6.2.8.	"Setbacks-Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required." <sup>ix</sup>	Guideline	Recommendation

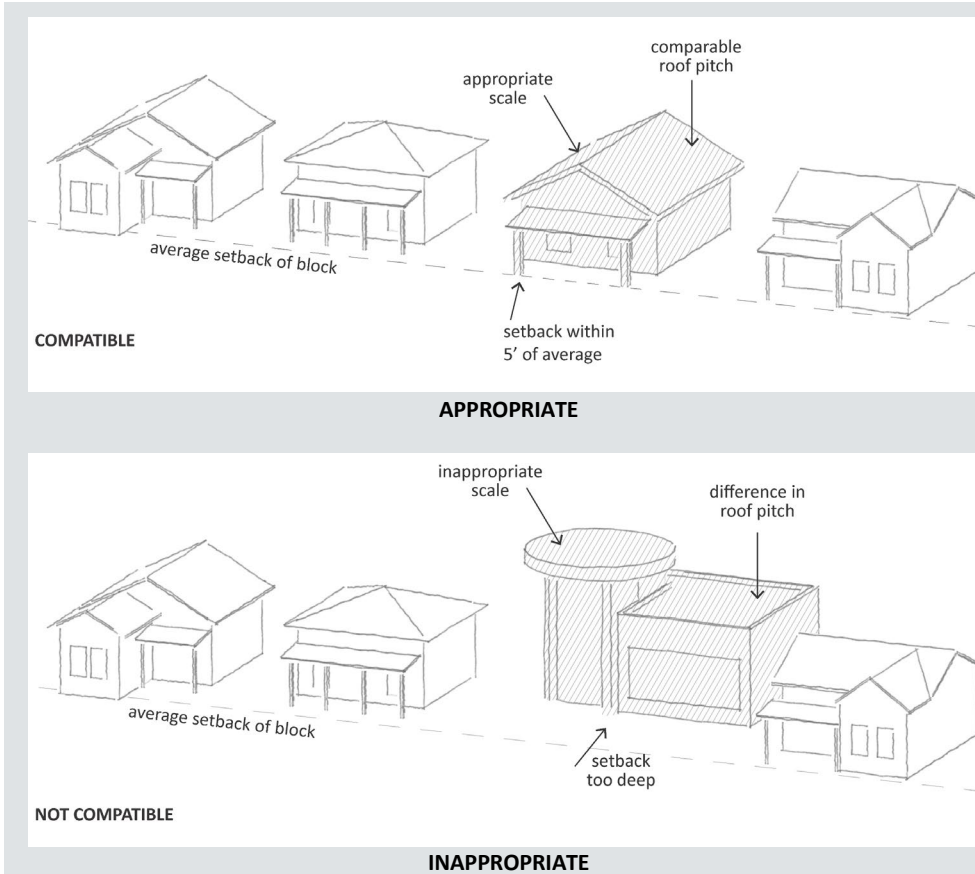
## 1 District-Specific Guidelines and Recommendations

#	District-Specific Guideline	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
6.2.9.	Minimize the new building's impact on the district's tree canopy. Preserve existing trees sufficiently to retain 25 percent shade coverage on the lot in spring/summer. If less than 25 percent of the lot was covered in shade prior to new construction, bringing shade coverage up to 25 percent is encouraged.	Recommendation	Recommendation
6.2.10.	The maximum height of for new construction may not be more than 30 feet tall. This height limit applies to all property types – whether single-family, multifamily, or auxiliary. Heights are measured from the grade plane to the highest point on the roof. The 30-foot height limit may be fewer than 10 feet taller than the original house. The height limit allowed by this design manual may be lower than the maximum allowable height within the Unified Development Code or Citywide Guidelines.	Guideline	Guideline
6.2.11.	In addition to the 30-foot height limit, a new building may not stand more than 10 feet higher than the tallest adjacent primary historic-age buildings (defined to include the primary buildings at least 25 years of age to either side and/or to the rear). Heights are measured from the grade plane to the highest point on the roof. This may yield a height limit less than 30 feet. Heights more than 30 feet are never permissible, regardless of the heights of adjacent historic-age buildings.	Guideline	Guideline
6.2.12.	New construction may not change the topography of a site in an attempt to gain additional height while meeting the height limitations above.	Guideline	Guideline
6.2.13.	The roof form used for a new building should match one of the roof forms found among the buildings in the district that are at least 25 years old (as shown in the discussion of Architectural Styles in Section 2.1).	Guideline	Recommendation

#	District-Specific Guideline	Applicability in the River Road Historic District	
		Visible from public right-of-way	Not visible from public right-of-way
6.2.14.	The roof slope for a new building should reflect slopes found among buildings in the district that are at least 25 years of age, ranging from flat (0-inch rise over 12-inch run) to steep (maximum 16-inch rise over 12-inch run). (See fig. 5.2.4 above in Section 5.)	Guideline	Recommendation
6.2.15.	Set back any attached garages or carports shall at least 15 feet from the front wall of the building (excluding the porch). (See fig. 6.2.3.) Garages accessed from a side street may be flush with the side façade, but they may not project closer to the street than the side façade.	Guideline	Guideline
6.2.16.	New construction must have screened off-street storage space for garbage and recycling receptacles.	Guideline	Recommendation
6.2.17.	Include a front porch on a new primary residential building if the majority of buildings on the block also have front porches; recommended front porch dimensions are at least 6 feet deep, with an area of at least 60 square feet.	Guideline	N/A
6.2.18.	Modern materials such as fiber-cement siding are appropriate for new construction, provided that the overall design is compatible with the historic building	Appropriate	Appropriate
6.2.19.	Limit the materials palette for new buildings to only two or three materials to avoid visually detracting from older buildings in the district.	Guideline	Recommendation
6.2.20.	Do not use faux-historic applied ornamentation on a new building. The design for new construction may echo historic materials, patterns, and forms, but not applied ornamentation. New construction should be less decorative than historic buildings to allow the historic buildings to remain the visual focus of the district. (See fig. 6.2.5.)	Guideline	Recommendation
6.2.21.	The historic materials, patterns, and forms found among buildings in the district that are historic-age (at least 25 years old) may inform the design for new construction. Refer to Section 2 for a selection of architecture historically found within the district. Historic architecture not found in River Road should not be replicated in River Road.	Guideline	Recommendation
6.2.22.	If designing a new building in a contemporary style, reflect the scale, massing, window pattern, roof form and/or materials of the historic buildings in the district; if designing a new building in a style that reflects the style of the historic buildings in the district, minimize ornamentation and differentiate the window pattern, roof form, and/or materials – at least slightly (figs. 6.2.4 and 6.2.5).	Guideline	Recommendation
6.2.23.	Consider using windows that reflect the proportions and configurations found among buildings in the district that are at least 25 years old (as described in Section 2). However, if the new building's roof form and materials reflect the original building, windows may be differentiated as a means to avoid creating a false sense of history.	Recommendation	Recommendation
6.2.24.	The pattern of windows and doors on a new building must be consistent; avoid having multiple different sizes of windows and doors or scattered/irregular placement of windows and doors.	Guideline	Recommendation
6.2.25.	Windows and doors on additions must be recessed behind the wall plan at least two inches in depth.	Guideline	Recommendation
6.2.26.	The roof form used for a new construction should match one of the roof forms found among the buildings in the district that are at least 25 years old (as shown in the discussion of Architectural Styles in Section 2.1).	Guideline	Guideline



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**Figure 6.2.1.** Examples of appropriate versus inappropriate new residential infill. Note how the compatible example takes cues from the adjoining streetscape in terms of height, setbacks, roof form, roof pitch, footprint, and porch placement. Source: HHM archives.

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**APPROPRIATE**



**INAPPROPRIATE**

**Figure 6.2.2.** Examples of two new infill houses in a historic neighborhood – one using an appropriately oriented front door facing the street (left), while the other uses an inappropriate front door hidden from the front façade (right). Source: Photos by HHM, 2021.

3



**APPROPRIATE**



**INAPPROPRIATE**

**Figure 6.2.3.** Examples of two new infill houses – one appropriately sets back the attached carport behind the front façade (left), while the other uses an inappropriate projecting “snout” garage (right). Source: Photos by HHM, 2021.



**APPROPRIATE**



**INAPPROPRIATE**

**Figure 6.2.4.** Examples of two new houses using contemporary architectural styles – one appropriately (left), the other inappropriately (right). The appropriate example on the left reflects the one-story height, gabled roof form, and brick material found among its historic neighbors. The inappropriate example on the right uses a larger scale than its neighbors and also introduces unfinished wood siding and cast concrete as materials – neither of which are found on original houses in the neighborhood. Source: Photos by HHM, 2021.





APPROPRIATE



INAPPROPRIATE

**Figure 6.2.5.** Examples of two new houses that both reflect historic Craftsman stylistic influences – one appropriately (top), the other inappropriately (bottom). The appropriate house at the top uses appropriate horizontal siding with mitered corners and subtle exposed rafter ends, combined with an appropriate scale and contemporary massing. The inappropriate house at the bottom adds faux-Craftsman columns and vertical siding (not historically present in the district) to an oversized house form with an attached garage that is not set back. Photo by HHM, 2021 (top), David Weekley Homes, accessed November 9, 2021, <https://www.davidweekleyhomes.com/news/article/david-weekley-homes-to-add-new-homes-to-skybrook-in-mecklenburg-cabarrus-counties> (bottom).



# Endnotes

<sup>i</sup> San Antonio, Texas – *Unified Development Code*, Sec. 35-451, from Municode, accessed February 15, 2022, [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code?nodeId=ARTIVPR\\_DIV5HIDERE\\_S35-451CEAP](https://library.municode.com/tx/san_antonio/codes/unified_development_code?nodeId=ARTIVPR_DIV5HIDERE_S35-451CEAP). This code section states that, “Applications proposing work or changes to the exterior...shall require review for appropriateness with the provisions of this article, and any adopted design guidelines.” [Code section and link to be updated for final.]

<sup>ii</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.1.A.i.

<sup>iii</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.1.A.ii.

<sup>iv</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.1.B.i.

<sup>v</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.1.D.i.

<sup>vi</sup> Office of Historic Preservation 2020 update to Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, pp. 18-19, Guideline 8.A.ii, from the City of San Antonio, [https://www.sanantonio.gov/Portals/0/Files/ Historic\\_Preservation/CurrentProjects/UDC%20Docs/Update%20to%20Guidelines%20for%20New%20Construction%202020 Draft.pdf?ver=2020-02-28-094432-930](https://www.sanantonio.gov/Portals/0/Files/ Historic_Preservation/CurrentProjects/UDC%20Docs/Update%20to%20Guidelines%20for%20New%20Construction%202020 Draft.pdf?ver=2020-02-28-094432-930).

<sup>vii</sup> Office of Historic Preservation 2020 update to Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, p. 19, Guideline 8.A.iii.

<sup>viii</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.5.B.i.

<sup>ix</sup> Clarion and HHM, *Citywide Historic District Guidelines*, Section 4, Guideline 4.5.B.ii.

1 **Appendices**

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## Appendix A: Glossary

**Abut:** To adjoin at an end; to be contiguous.

**Acequia:** An irrigation system that diverts water from a natural river or stream using dams, canals, swales, and desagues (drainpipes).

**Arcade:** A line of arches resting on columns or piers; often a covered walkway with such arches lining one side or both sides.

**Arch:** A curved and sometimes pointed structural member used to span an opening.

**Awl:** A small, pointed tool.

**Awning:** A projecting roof-like structure sheltering a door or window, often canvas.

**Balcony:** A railed projecting platform found above ground level on a building.

**Bargeboard:** A board, sometimes decorative, that adorns the gable-end of a gabled roof.

**Battered Foundation:** A foundation that is inclined, so that it appears to slope inward as it rises upward.

**Bead Board:** Wood paneling with grooves.

**Belt Course:** A horizontal band running around a building; often a bank of bricks or a flat wood molding.

**Berm:** A raised bank at the edge of a yard beside a road or sidewalk.

**Board and Batten:** Wood siding with wide boards, placed vertically, and narrow strips of wood (battens) covering the seams between the boards.

**Boxed Eaves:** Eaves that are enclosed with a fascia and panels under the soffit.

**Bracket:** A projecting support used under cornices, eaves, balconies, or windows to provide structural or visual support.

**Brick:** A building or paving unit made of fired clay, usually rectangular in shape.

**Buttress:** An exterior masonry support set at an angle perpendicular to the exterior wall, often used to counter lateral thrusts placed on the exterior walls by interior roof vaults.

**Canal:** A man-made waterway used to divert water for irrigation or transportation; sometimes part of an acequia system.

**Canopy:** A projection over a niche or doorway; often decorative or decorated.

**Capital:** The uppermost part, or head, of a column or pilaster.

**Casement Window:** A window sash that swings open along its entire length; usually on hinges fixed to the sides of the opening into which it is fitted.

**Clapboard Siding:** Wood siding for exterior walls, commonly applied horizontally with one board partially overlapping the next; profile is cut at an angle so that the lower edge is thicker than the upper edge.

**Colonnade:** A series of columns arranged at regular intervals, typically supporting one side of a roof.

**Column:** A round, vertical support; in classical architecture, the column has three parts: base, shaft, and capital.

**Concrete Block:** A hollow or solid concrete masonry unit consisting of cement and suitable aggregates combined with water.

**Concrete Slab:** A flat, rectangular, reinforced concrete structural member; especially used for floors and roofs.

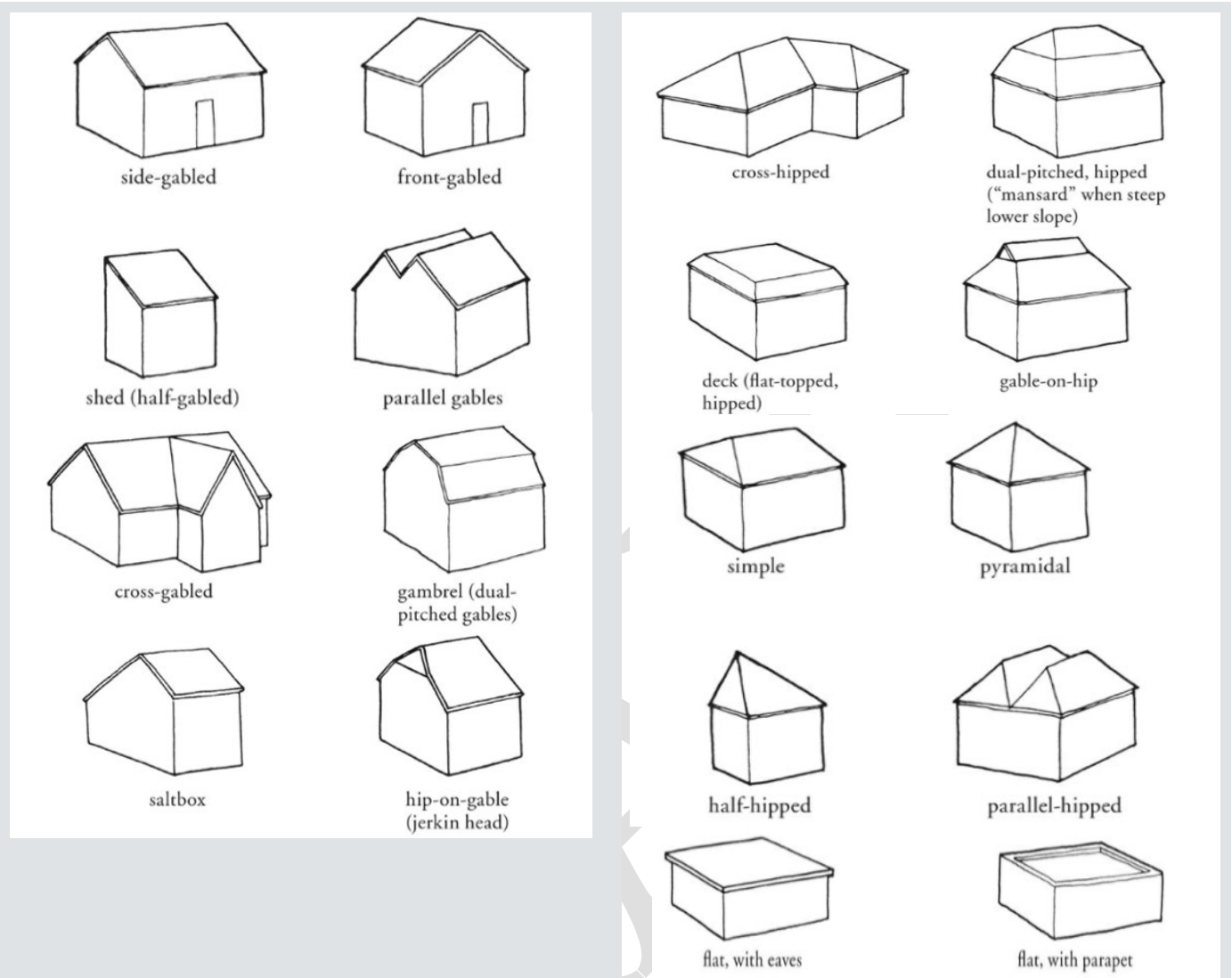
- 1 **Coping:** The protective uppermost course of a wall or parapet.
- 2 **Corbelling:** Pattern in a masonry wall formed by projecting or overhanging masonry units.
- 3 **Cornice:** A projecting, ornamental molding along the top of a building, wall, etc., finishing or crowning it.
- 4 **Crenellation:** A parapet with alternating solid and void spaces, originally used for defense; also known as battlement.
- 5 **Dam:** A structure used to hold back water and/or divert the flow of water.
- 6 **Desague:** Translated from Spanish as “drainage,” this term often refers to drain pipes incorporated into acequias.
- 7 **Deteriorated Beyond Repair:** The individual building component is decayed to the point where it cannot serve its
- 8 structural purpose(s), as determined by the Historic Preservation Office staff and/or the Historic Landmarks
- 9 Commission. Examples of elements deteriorated beyond repair include, but are not limited to:
  - 10 • An individual wood window muntin decayed so that it cannot hold a pane of glass as intended; decay is
  - 11 documented by probing the core with an awl and lifting up irregular pieces of wood.
  - 12 • An individual wood weatherboard decayed to the point where it cannot hold paint to keep the building
  - 13 watertight; decay is documented by probing the core with an awl and lifting up irregular pieces of wood.
  - 14 • An individual porch column decayed so that it can no longer support the porch roof; decay is documented by a
  - 15 sag in the porch roof even when the porch foundation is shown to be level.
  - 16 • A metal decorative railing corroded so that it threatens to expand and crack the adjacent surface; corrosion is
  - 17 documented by a bubbling texture, and/or probing the metal with a sharp object and digging out brittle strands.
  - 18 **Dormer:** A vertically set window on a sloping roof; also the roofed structure housing such a window.
  - 19 **Dentils:** A series of closely spaced, small, rectangular blocks, used especially in classical architecture.
  - 20 **Double-Hung Window:** A window with two (or more) sashes, or glazed frames, set in vertically grooved frames and ca-
  - 21 pable of being raised or lowered independently of each other.
  - 22 **Eaves:** The lower edges of a roof that project beyond the building wall.
  - 23 **Engaged Column:** A column that is partially attached to a wall.
  - 24 **Entablature:** A beam carried by columns; in Classical architectural styles, typically elaborated with a three-tiered
  - 25 molding, divided into the cornice (top), frieze (middle), and architrave (bottom).
  - 26 **Eyebrow Dormer:** A low dormer with a wavy line over the lintel, resembling an eyebrow.
  - 27 **Façade:** An exterior wall.
  - 28 **Fanlight:** An arched window with muntins that radiate like a fan; typically used as a transom.
  - 29 **Fascia Boards:** Horizontal boards, typically wood, that cover the ends of rafters.
  - 30 **Fence:** A barrier constructed of upright posts connected by wood boards or metal lattice, typically used to mark a
  - 31 property boundary or enclose an area of ground.
  - 32 **Fenestration:** An opening in a surface.
  - 33 **Fixed Sash:** A window, or part of a window, that does not open.
  - 34 **Flat Roof:** A roof that has only enough pitch so that water can drain.
  - 35 **Foil:** A decorative motif formed by series of intersecting arcs, arranged in flower-like shape; a series of three arcs,
  - 36 resembling a clover, is known as a *trefoil*.
  - 37 **Frieze:** The middle section of an entablature (defined above).
  - 38 **Gabled Roof:** A roof having a single slope on each side of a central ridge; usually with a gable at one or both ends of the

- 1 roof.
- 2 **Gambrel Roof:** A roof having a double slope on two sides of a building; the most common example is a barn roof.
- 3 **Glazing:** Window or glass, as within a door or window.
- 4 **Half-Timbered:** Heavy timber framing with the spaces filled in with plaster or masonry.
- 5 **Hipped Roof:** A roof having adjacent flat surfaces that slope upward from all sides of the perimeter of the building.
- 6 **Historic-Age:** The City of San Antonio's historic preservation ordinance considers that building fabric that is 25 years or  
7 older may contribute to the character of a historic district. Some provisions within this manual specifically mention  
8 "historic-age" features. Within the River Road Historic District, buildings and features 25 years or older are considered  
9 "historic-age."
- 10 **Hood:** A protective and sometimes decorative cover over doors, windows, or chimneys.
- 11 **In-kind:** Replacement of a feature with the same material, such as wood for wood.
- 12 **Jalousie Window:** A window composed of angled, overlapping slats of glass, arranged horizontally like a shutter in order  
13 to tilt open for ventilation.
- 14 **Landscape Wall:** A solid barrier constructed of masonry units (like brick, stone, or concrete block), typically used to  
15 mark a property boundary or enclose an area of ground. Also see "Retaining Wall" below.
- 16 **Leaded Glass Window:** A window composed of pieces of glass that are held in place with lead strips; the glass can be  
17 clear, colored, or stained.
- 18 **Lintel:** The piece of timber, stone, or metal that spans above an opening and supports the weight of the wall above it.
- 19 **Lites:** Window panes.
- 20 **Mansard Roof:** A roof having two slopes on all four sides; the lower slope is much steeper than the upper.
- 21 **Masonry:** A construction method that stacks masonry units, such as stones or bricks, and binds them with mortar to form  
22 a wall.
- 23 **Molding:** A decorative profile that is given to architectural members and subordinate parts of the buildings; whether  
24 cavities or projections such as cornices, bases, door and window jambs and heads.
- 25 **Mortar:** A mixture of cement, lime, sand, or other aggregates with water; used in plastering and bricklaying.
- 26 **Mullion:** A large vertical member separating two casements or coupled windows or doors.
- 27 **Muntin:** One of the thin strips of wood used to separate panes of glass within a window.
- 28 **Paneled Door:** A door constructed with recessed rectangular panels surrounded by raised moldings.
- 29 **Parapet:** A low wall or protective railing, usually used around the edge of a roof or around a balcony.
- 30 **Pediment:** A triangular section framed by a horizontal molding on its base and two sloping moldings on each side.
- 31 **Pier-and-Beam Foundation:** Foundation consisting of vertical piers that support horizontal beams.
- 32 **Pilaster:** A rectangular column or shallow pier attached to a wall.
- 33 **Plinth:** A base for a column, usually square or rectangular; a square or rectangular ground-level base for an irregularly  
34 shaped building.
- 35 **Porch:** A covered entrance or semi-enclosed space projecting from the façade of a building; may be open sided, screened,  
36 or glass enclosed.



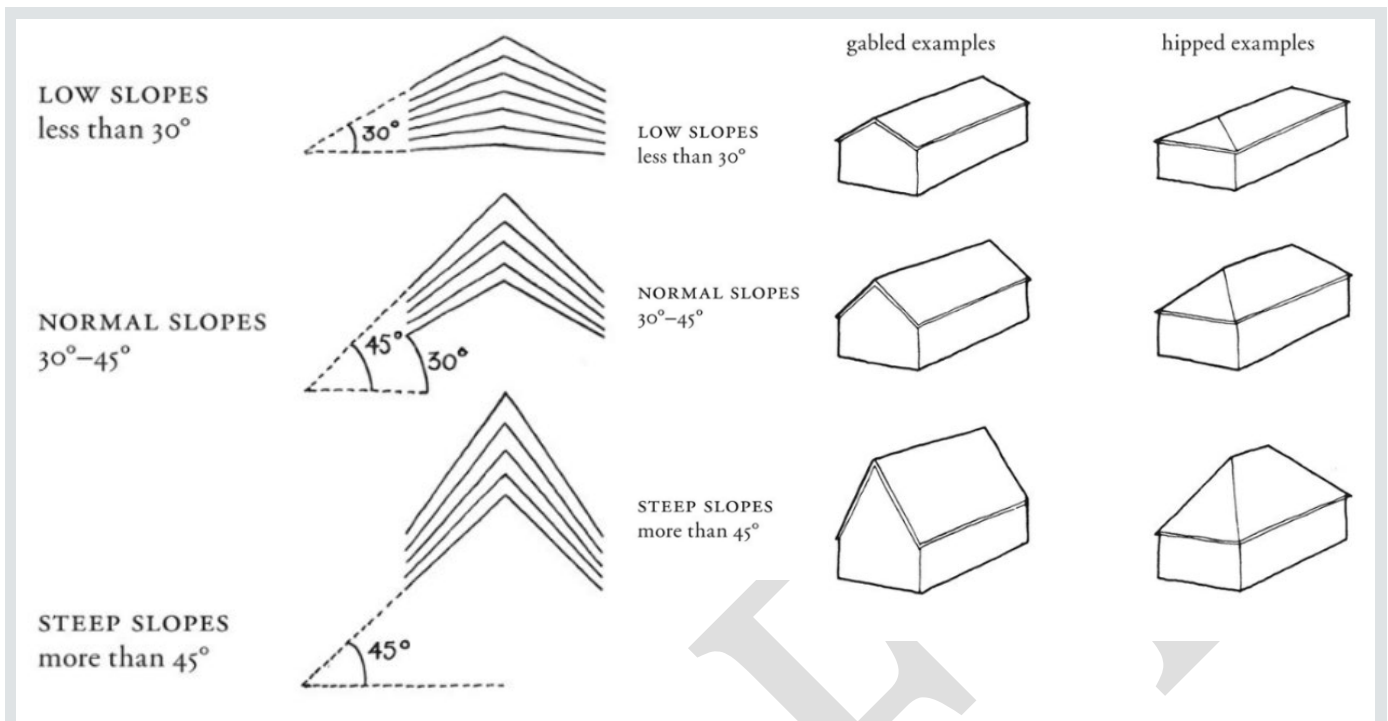
- 1 **Porte Cochere:** A roofed structure attached to a building and extending over a driveway, allowing vehicles to pass  
2 through.
- 3 **Pyramidal Roof:** A pyramid-shaped roof with four sides of equal slope and shape.
- 4 **Quoins:** Large or rusticated stone blocks at the corners of a masonry building.
- 5 **Rafter:** One of a series of structural members spanning from the ridge of the roof to the eaves, providing support for the  
6 covering of a roof.
- 7 **Repointing:** The act of repairing the joints of brickwork, masonry, etc., with mortar or cement.
- 8 **Retaining Wall:** A solid masonry wall (often brick, stone, or concrete) used to hold back soil on one side, creating  
9 different levels of terracing in a landscape and/or minimizing erosion.
- 10 **Roof Form:** The shape of a roof; typical examples are illustrated below (**fig. A-1**).
- 11 **Roof Slope:** Angle of a roof (also known as roof pitch); common examples illustrated below (**fig. A-2**).
- 12 **Slip Cover:** The covering of a building's original facade, be it building materials or features, with a different substance to  
13 create another appearance.
- 14 **Sash:** The framework for a window; also, a moveable part of a window.
- 15 **Shed Roof:** A roof containing only one sloping plane.
- 16 **Side Light:** A vertical window flanking a door.
- 17 **Side-Gabled Roof:** A gable whose face is on one side (or part of one side) of a building, perpendicular to the façade.
- 18 **Sill:** Horizontal member at the bottom of a window or door opening.
- 19 **Soffit:** The underside of overhanging eaves; the underside of other architectural structures such as an arch or balcony.
- 20 **Storm Window:** A secondary window installed to protect and/or reinforce the main window.
- 21 **String Course:** A horizontal band running around a building; often a bank of bricks or a flat wood molding (similar to a  
22 belt course, defined above).
- 23 **Stucco:** Exterior finish material composed of either Portland cement or lime and sand mixed with water.
- 24 **Swale:** An earthen depressed area of land used to hold or divert storm water and/or river water; often incorporated into  
25 acequia systems.
- 26 **Terra-cotta.** A ceramic material molded decoratively and often glazed, used as a facing for buildings or as an inset  
27 ornament.
- 28 **Transom:** A horizontal window over a door or window.
- 29 **Turret:** A small tower projecting from a roof.
- 30 **Vergeboard:** A board, sometimes decorative, that adorns the gable-end of a gabled roof (similar to a bargeboard, defined  
31 above).
- 32 **Wall:** A solid vertical structural slab used to create an enclosure. Also see "Landscape Wall" and "Retaining Wall" above.
- 33 **Wing Wall:** A portion of the front façade extending past the side façade, often sloping down from the eaves to the ground  
34 at an angle; a subordinate wall, one end of which is built against an abutment.

1



**Figure A-1.** Diagrams depicting types of roofs commonly found on historic houses. Source: McAlester, *Field Guide to American Houses*.

2



**Figure A-2.** Diagram depicting roof slopes (or roof pitches) commonly found on historic houses. Source: McAlester, *Field Guide to American Houses*.



# Appendix B: Historic District Boundaries



**Figure B-1.** Map of current River Road Historic District. Sources: Base map from ESRI, boundary from the City of San Antonio, overlay by HHM.

## Appendix C: City of San Antonio Ordinance Information

### C.1. Historic Preservation

The City of San Antonio's historic preservation ordinance currently is published online at the link below. Routine updates to the ordinance will appear at this same site once formally adopted.

- [https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/OHP\\_Amendments\\_Ordinance-2010.pdf](https://www.sanantonio.gov/portals/0/Files/HistoricPreservation/OHP_Amendments_Ordinance-2010.pdf)

In addition, the Zoning Ordinance may be obtained by contacting the Historic Preservation Officer (see *Appendix D* below for contact information).

### C.2. Unified Development Code

The currently adopted City of San Antonio's Unified Development Code is published online at the link below:

- [https://library.municode.com/tx/san\\_antonio/codes/unified\\_development\\_code](https://library.municode.com/tx/san_antonio/codes/unified_development_code)

**Note that the UDC is updated every five years.** Draft or interim updates may not be reflected at the link above.

## Appendix D: Preservation Resource Toolkit

This appendix intends to provide property owners an array of information to guide research and project planning, including:

- Historical Research Resources,
- Nationwide Preservation Guidelines, and
- Funding and Incentives for Historic Preservation.

### D.1. Historical Research Resources

When beginning the process of restoring, renovating, or constructing on a landmark property or within a historic district, it is best to research a building or structure and its surrounding environment. Research can provide information about when a building was constructed and how it changed over time – informing the evaluation of the building’s period of significance (as defined in Appendix A). The following is a synopsis of areas that may aid in the inquiry of a building or structure.

#### D.1.1. Historic Maps

- Sanborn Fire Insurance Maps, 1896–1913, Perry-Castañeda Library Map Collection, University of Texas at Austin, <http://legacy.lib.utexas.edu/maps/sanborn/f.html>.

#### D.1.2. Historic Photographs

- Portal to Texas History, University of North Texas Libraries, <https://texashistory.unt.edu/>.
- Prints and Photographs Collection, Library of Congress, <http://www.loc.gov/pictures/>.

#### D.1.3. Literature

##### D.1.3.1. City Directories and Telephone Directories

- Ancestry, <https://www.ancestry.com/> (subscription required).
- City Directory Collection, Portal to Texas History, University of North Texas, <https://texashistory.unt.edu/explore/collections/CIT/>.
- Dolph Briscoe Center for American History, University of Texas at Austin, [https://www.cah.utexas.edu/research/directories\\_browse.php?location\\_id=49](https://www.cah.utexas.edu/research/directories_browse.php?location_id=49).

##### D.1.3.2. Newspapers

Old newspapers or periodicals may be a good source, particularly to find pictures of the building in its original state. This type of literature will record outstanding and daily events and would be a good opportunity to read how the building was originally used and by whom.

- Newspaper Archive, [www.newspaperarchive.com](http://www.newspaperarchive.com) (subscription required).
- Texas Digital Newspaper Program, Portal to Texas History, University of North Texas, <https://texashistory.unt.edu/explore/collections/TDNP/>.

##### D.1.3.3. Books

- Harris, Cyril M., Ed. *Dictionary of Architecture and Construction*. New York: McGraw Hill, 1975.
- *Guide to American Houses*. Alfred A. Knopf: New York, 2015.
- Murtagh, William J. *Keeping Time: The History and Theory of Preservation in America*. Pittstown, New Jersey: The Main Street Press, 1988.

##### D.1.3.4. Online Resources

- *AIA Directory of American Architects*, 1956–1978, American Institute of Architects, <https://aiahistoricaldirectory.atlassian.net/wiki/spaces/AHDAA/overview>.
- Historic Building Catalog Collection, Association for Preservation Technology, Building Technology Heritage Library, [https://archive.org/details/buildingtechnologyheritagelibrary?sort=-downloads&and\[\]=subject%3A%22house+plans+---+catalogs%22](https://archive.org/details/buildingtechnologyheritagelibrary?sort=-downloads&and[]=subject%3A%22house+plans+---+catalogs%22).
- *Southwestern Historical Quarterly* [journal]. Texas State Historical Association, <https://tshaonline.org/shqonline>.
- *Texas Architect* [magazine], 1950–, <https://magazine.texasarchitects.org/issues/>.



- *Texas Contractor* [magazine]:
  - Sterling C. Evans Library, Texas A&M University, 1939–, <https://libcat.tamu.edu/vwebv/search?searchArg=texas+contractor&searchCode=TALL&setLimit=1&recCount=50&searchType=1&page.search.search.button=Search>, or
  - University of Texas at Austin Libraries, 1939–1946 and 1964–1978, <http://catalog.lib.utexas.edu/search~S29?/Xtexas+contractor&searchscope=29&SORT=D/Xtexas+contractor&searchscope=29&SORT=D&SUBKEY=texas+contractor/1,87,87,B/holdings&FF=Xtexas+contractor&1.1>.
- *Texas General Contractors Association Monthly Bulletin*, 1920–, Houston Area Digital Archives, <http://digital.houstonlibrary.org/cdm/compoundobject/collection/books/id/9648/rec/1>.
- Texas County Tax Rolls, 1837–1910, Family Search, <https://www.familysearch.org/search/collection/1827575>.
- *The Handbook of Texas Online*. Texas State Historical Association, <https://tshaonline.org/handbook/online>.

## D.2. Nationwide Preservation Standards and Guidelines

### D.2.1. Secretary of the Interior's Standards for Rehabilitation

These design standards are based on the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, which is one component of the overall *Standards and Guidelines for the Treatment of Historic Properties*. The Standards are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations. The Guidelines offer general design and technical recommendations to assist in applying the Standards to a specific property. Together, they provide a framework and guidance for decision-making about work or changes to a historic property. The full text of the *Secretary of the Interior's Standards for Rehabilitation* is provided online at the link below:

- <https://www.nps.gov/tps/standards.htm>.

### D.2.2. NPS Preservation Briefs

The National Park Service (NPS) also provides technical assistance and guidance on the preservation of historic properties through the publication of *Preservation Briefs* and Preservation Tech Notes. These resources focus on specific issues common in preservation. All are available online at:

- <https://www.nps.gov/tps/how-to-preserve.htm>.

### D.2.3. NPS Interpreting the Standards Bulletins

In addition to *Preservation Briefs*, the NPS also publishes *Interpreting the Standards Bulletins* to “assist building owners in applying the Standards to rehabilitation projects,” available online at:

- <https://www.nps.gov/tps/standards/applying-rehabilitation/standards-bulletins.htm>.

## D.3. Funding and Incentives for Preservation

A number of tax incentives and grants exist to promote preservation of historic buildings, sponsored by the state and federal government, as well as private nonprofit organizations. Note that federal tax credits are for income-producing properties only. State tax credits may be used by income-producing properties or nonprofit properties. Grant funding requirements vary but often prioritize awards for buildings with a community or nonprofit use.

- Federal percent historic rehabilitation tax credits, National Park Service, <https://www.nps.gov/tps/tax-incentives.htm>.
- State of Texas 25 percent historic rehabilitation tax credits, Texas Historical Commission, <https://www.thc.texas.gov/preserve/projects-and-programs/preservation-tax-incentives/texas-historic-preservation-tax-credit>.
- Texas Preservation Trust Fund grants, Texas Historical Commission, <https://www.thc.texas.gov/preserve/projects-and-programs/texas-preservation-trust-fund-0>.
- City of San Antonio Local Tax Exemptions, <https://www.sanantonio.gov/historic/About-Us/WhyPreserve/incentives>.
- City of San Antonio Vacant Buildings Program, <https://www.sanantonio.gov/historic/VacantBuildings/Resources>.
- San Antonio Conservation Society Building Grants, <https://www.saconservation.org/what-we-do/building-grants>.